

CITY OF GREEN COVE SPRINGS PLANNING & ZONING BOARD MEETING

321 WALNUT STREET, GREEN COVE SPRINGS, FLORIDA
TUESDAY, APRIL 27, 2021 – 5:00 PM



AGENDA

GENERAL INFORMATION

ANYONE WISHING TO ADDRESS THE PLANNING AND ZONING BOARD REGARDING ANY TOPIC ON THIS EVENING'S AGENDA IS REQUESTED TO COMPLETE A CARD AVAILABLE AT THE CLERK'S DESK. SPEAKERS ARE RESPECTFULLY REQUESTED TO LIMIT THEIR COMMENTS TO THREE (3) MINUTES.

THE PLANNING AND ZONING BOARD PROHIBITS THE USE OF CELL PHONES AND PAGES WHICH EMIT AN AUDIBLE SOUND DURING ALL MEETINGS WITH THE EXCEPTION OF LAW ENFORCEMENT, FIRE AND RESCUE, OR HEALTH CARE PROFESSIONALS ON CALL. PERSONS IN VIOLATION WILL BE REQUESTED TO LEAVE THE MEETING.

THIS WILL BE AN IN-PERSON MEETING. PLEASE FOLLOW SOCIAL DISTANCING PROTOCOLS

ROLL CALL

APPROVAL OF MINUTES

1. Review and approval of minutes for the February 23, 2021 meeting.

PUBLIC HEARINGS

2. Future Land Use Amendment from Commercial High Intensity to Central Business District for property located at 200-206 Orange Avenue
3. Rezoning from Gateway Corridor Commercial to Central Business District for property located at 200-206 Orange Avenue
4. Review of an Annexation request for the Ayrshire Development for the Gustafson's Cattle, Inc. approximately 560.52 acres on CR 15 A, 016515-000-00
5. Review of a Future Land Use Amendment request from Rural Fringe / Industrial (County) to Residential Low Density (RLD) for the Ayrshire Development for the Gustafson's Cattle, Inc. approximately 560.52 acres on CR 15 A, 016515-000-00

BOARD BUSINESS

6. Online Comprehensive Map Update
7. S&ME – Comprehensive Plan Update

BOARD DISCUSSION / COMMENTS

STAFF COMMENTS

ADJOURNMENT

NEXT MEETING: TUESDAY, MAY 25, 2021 AT 5:00PM

Minutes of the Planning & Zoning Board Meeting can be obtained from the City Clerk's office. The Minutes are recorded, but are not transcribed verbatim.

Persons requiring a verbatim transcript may make arrangements with the City Clerk to duplicate the recordings, or arrange to have a court reporter present at the meeting. The cost of duplication and/or court reporter will be at the expense of the requesting party.

ADA NOTICE

In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting should contact the City Clerk's office no later than 5:00 p.m. on the day prior to the meeting.

EXPARTE COMMUNICATIONS

Oral or written exchanges (sometimes referred to as lobbying or information gathering) between a Special Magistrate and others, including staff, where there is a substantive discussion regarding a quasi-judicial decision by the Special Magistrate. The exchanges must be disclosed by the Special Magistrate

CITY OF GREEN COVE SPRINGS PLANNING & ZONING BOARD MEETING

321 WALNUT STREET, GREEN COVE SPRINGS, FLORIDA
TUESDAY, FEBRUARY 23, 2021 – 5:00 PM



MINUTES

ROLL CALL

The meeting was called to order at 5:00 p.m.

PRESENT

Chairman Henrietta Francis
Vice Chair Gary Luke (virtual, *Teams*)
Board Member Brian Cook
Board Member Justin Hall
Board Member Richard Hobbs

APPROVAL OF MINUTES

1. *Review and approval of minutes for the January 26, 2021 meeting.*

Motion to approve the minutes of the January 26, 2021 Planning & Zoning Board meeting.

Motion made by Board Member Hall, **Seconded** by Board Member Cook. **Voting Yea:** Chairman Francis, Vice Chairman Luke, Board Member Cook, Board Member Hall, and Board Member Hobbs.

Motion passes 5-0.

PUBLIC HEARINGS

2. *Review of Special Exception Application for Doxa Church to operate at 112 Magnolia Avenue*

Mike Daniels, Planning & Zoning Director, presented the application to the board. The board inquired how this would affect alcohol sales in the area. Mr. Daniels explained the spacing requirements in the Central Business District (where this property is located) had been eliminated.

Chairman Francis opened the public hearing. There being no comments, Chairman Francis closed the public hearing.

Motion to approve the Special Exception for 112 Magnolia Ave, to allow a church to operate on said property, subject to the following conditions:

1. Applicant must provide a parking agreement between Doxa Church and The Treasure Box.
2. Applicant shall provide a minimum of two ADA compliant parking spaces. The applicant shall provide a survey and site sketch showing parking in front re-stripped to

provide a minimum of two ADA compliant spaces and the restriping shall be completed prior to opening.

3. Prior to occupancy, applicant must submit plans and complete work to bring the building up to current code for the new assembly use. Completion of work will allow issuance of a Certificate of Occupancy, which is required to use the space.

Motion made by Vice Chairman Luke, **Seconded** by Board Member Cook. **Voting Yea:** Chairman Francis, Vice Chairman Luke, Board Member Cook, Board Member Hall, and Board Member Hobbs.

Motion passes 5-0.

BOARD BUSINESS

3. ***INFORMATIONAL ONLY – Annexation of Parcel # 016515-000-00, located on County Road 15 A***

Mr. Daniels provided the board information about the forthcoming project, explaining the process the applicant will go through. The Board inquired about utility capacity, planning for public facilities to serve the area, expected population increase, location of main entry, and alternatives to the linear facility request.

4. ***INFORMATIONAL ONLY - Award of Bid LC 2020-20 for an Urban Planning or Interdisciplinary Firm to complete the 2045 Comprehensive Plan Update.***

Mr. Daniels discussed with the Board what had been done to date for the comprehensive plan update, including the selection of S&ME, the establishment of tasks for S&ME and staff, and the upcoming public workshop. Daniel Vallencourt, 5627 Millie Way, expressed interest in supporting the Comprehensive Plan process, his concern with vacant buildings around town, fear of development bypassing the City, and the success of his and his wife, Andrea's, event venue, Clay Theatre.

BOARD DISCUSSION / COMMENTS

Chairman Francis commended staff for doing an excellent job. Board Member Cook suggested having a booth for the comprehensive plan at Food Truck Friday. Board Members Cook and Hall highlighted the significance of technology in the plan update process.

ADJOURNMENT

The meeting was adjourned at 6:00 p.m.

CITY OF GREEN COVE SPRINGS, FLORIDA

Henrietta Francis, Chairman

Attest:

Heather Glisson, Planning & Zoning Clerk



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning & Zoning Commission **MEETING DATE:** April 27, 2021
FROM: Michael Daniels, AICP, Planning & Zoning Director
SUBJECT: Future Land Use Amendment from Commercial High Intensity to Central Business District for property located at 200-206 Orange Avenue

PROPERTY DESCRIPTION

APPLICANT: Janis Fleet, Fleet and Associates **OWNER:** 200 North Orange Avenue Holding LLC

PROPERTY LOCATION: 200-206 N Orange Ave

PARCEL NUMBER: 017301-000-00

FILE NUMBER: 202100023 & 202100224

CURRENT ZONING: GCC – Gateway Corridor Commercial

FUTURE LAND USE DESIGNATION: CHI – Commercial High Intensity

SURROUNDING LAND USE

NORTH:	FLU: CHI Z: CBD Use: Retail	SOUTH:	FLU: CHI/RMD Z: GCC/INS Use: Undeveloped
EAST:	FLU: RMD Z: R-2 Use: Residential	WEST:	FLU: CHI Z: GCC Use: Retail

BACKGROUND

The applicant has applied for a Future Land Use Map Amendment for the subject property from Commercial High Intensity to a Central Business District. The purpose of the request is to allow for additional development in close proximity to US 17 that is consistent with the development form within the Central Business District.

The current Commercial High Intensity Future Land Use District is guided for a wide array of commercial uses, such as hotels, motels, automobile sales, service and repair, housing above businesses, churches and others. The maximum Floor Area Ratio is .40

The proposed Central Business District is guided by predominantly retail and service establishments consistent with the redevelopment of the downtown area. The maximum Floor Area Ratio is 2.0.

PROPERTY DESCRIPTION

200-206 S Orange Ave is a developed commercial property on 1.26 acres. There is an existing structure on the property with 19,819 square feet. It currently contains two suites occupied by Dollar Tree and Green Cove Dental and two vacant suites (one at each end of the plaza). There are approximately 64 parking spaces available. There are two monument signs along Orange Avenue. The site has access to Ferris Street to the north and Bay Street to the south. The property also has a full access point on US 17.

Figure 1. Existing Structure (Google Streetview, Oct. 2019)



Figure 2. Aerial Map

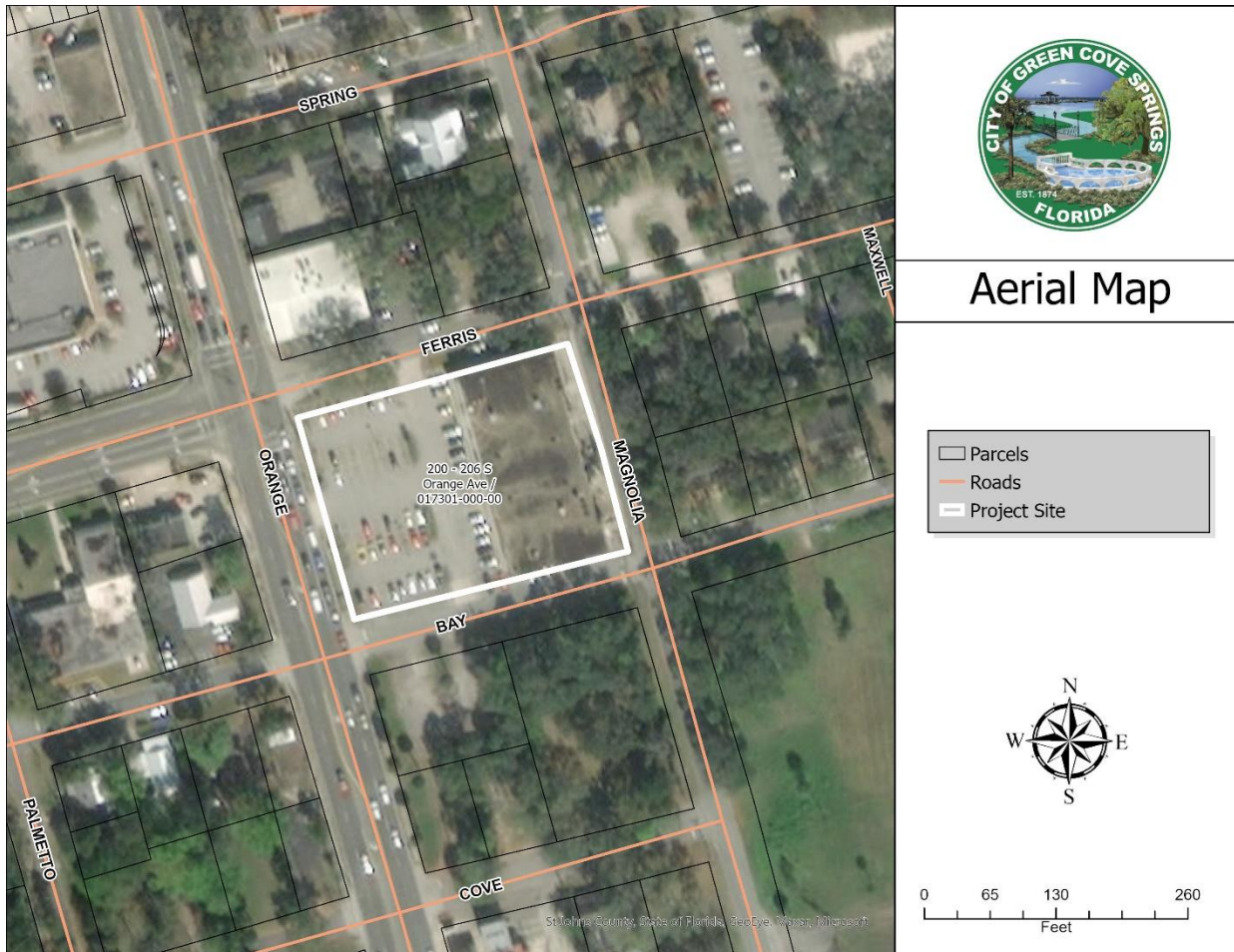


Table 1. FLUM Designation Comparison

	Existing	Proposed
FLUM District	Commercial High Intensity (CHI)	Central Business District (CBD)
Max. Floor Area Ratio	0.40	2.0
Typical Uses	Commercial uses, such as hotels, motels, automobile sales, service and repair, housing above businesses, churches and others	Retail and service establishments consistent with the redevelopment of the downtown area.

NEEDS ANALYSIS

Per Chapter 163.3177, Florida Statutes, need shall be based upon the amount of land designated for future uses and shall:

- 1) Provide a balance of uses that foster vibrant, viable communities and economic opportunities and address outdated development patterns, such as antiquated subdivisions; and,
- 2) Allow the operation of real estate markets to provide adequate choices for residents and business, with the amount of land designated for future use not limited solely by the projected population. The minimum amount of land use required to accommodate at least a 10-year planning period must be included in the comprehensive plan.

Comment: City Council has expressed interest in growing the downtown area and providing additional opportunities for businesses therein. Amending the land use of this property will increase opportunities for new businesses to set up within Green Cove Springs Downtown, revitalize the property with proposed redevelopment, as well as update the development pattern. This request supports growing demand for commercial space and will increase the variety of spaces available.

URBAN SPRAWL ANALYSIS

Section 163.3177, Florida Statutes, requires that any amendment to the Future Land Use Element to discourage the proliferation of urban sprawl. Section 163.3177(6)(a)9.a., Florida Statutes, identifies 13 primary urban sprawl indicators and states that, “[t]he evaluation of the presence of these indicators shall consist of an analysis of the plan or plan amendment within the context of features and characteristics unique to each locality...”

An evaluation of each primary indicator is provided below.

(I) Promotes, allows, or designates for development substantial areas of the jurisdiction to develop as low-intensity, low-density, or single-use development or uses.

Evaluation & Findings: The proposed amendment will revise the FLUM designation from CHI to CBD. By revising the Future Land Use designation to CBD, the property will be able to maintain its existing structure and add more commercial square footage to the site. This will allow for higher density of development and a more urban type of development in the core area of the City that has a high demand for additional commercial spaces.

(II) Promotes, allows, or designates significant amounts of urban development to occur in rural areas at substantial distances from existing urban areas while not using undeveloped lands that are available and suitable for development.

Evaluation & Findings: The project site is located within the urban core area of Green Cove Springs and adds to the existing development in the area which is suitable for developing, thereby reducing development pressure in rural and unincorporated areas.

(III) Promotes, allows, or designates urban development in radial, strip, isolated, or ribbon patterns generally emanating from existing urban developments.

Evaluation & Findings: The proposed CBD Future Land Use designation is compatible with the surrounding development.

(IV) Fails to adequately protect and conserve natural resources, such as wetlands, floodplains, native vegetation, environmentally sensitive areas, natural groundwater aquifer recharge areas, lakes, rivers, shorelines, beaches, bays, estuarine systems, and other significant natural systems.

Evaluation & Findings: The site is not located within a floodplain and does not have significant native vegetation, environmentally sensitive areas, natural groundwater aquifer recharge areas, lakes, shorelines, beaches, bays, estuarine systems, and other significant natural systems.

(V) Fails to adequately protect adjacent agricultural areas and activities, including silviculture, active agricultural and silvicultural activities, passive agricultural activities, and dormant, unique, and prime farmlands and soils.

Evaluation & Findings: The project site is located within an urban area with surrounding commercial development. There are no adjacent agricultural areas and activities.

(VI) Fails to maximize use of existing public facilities and services.

Evaluation & Findings: With the project site being located within an area with existing development, the proposed development will utilize existing public facilities and services.

(VII) Fails to maximize use of future public facilities and services.

Evaluation & Findings: Any future improvements to the City's public facilities and services will be utilized by the project site.

(VIII) Allows for land use patterns or timing which disproportionately increase the cost in time, money, and energy of providing and maintaining facilities and services, including roads, potable water, sanitary sewer, stormwater management, law enforcement, education, health care, fire and emergency response, and general government.

Evaluation & Findings: The project site is located within an existing commercial area with existing public facilities and services. The proposed development will utilize existing public facilities and services and will not increase the time, money, and energy for providing and maintaining these facilities.

(IX) Fails to provide a clear separation between rural and urban uses.

Evaluation & Findings: The site is located within an urban area and is not adjacent to any rural zoned properties.

(X) Discourages or inhibits infill development or the redevelopment of existing neighborhoods and communities.

Evaluation & Findings: The proposed application will allow infill development on a developed site.

(XI) Fails to encourage a functional mix of uses.

Evaluation & Findings: The project site is located within an existing commercial area and will allow for a mix of commercial uses.

(XII) Results in poor accessibility among linked or related land uses.

Evaluation & Findings: The project site has three existing ingress/egress points. Accessibility to linked or related land uses will not be diminished.

(XIII) Results in the loss of significant amounts of functional open space.

Evaluation & Findings: Additional proposed development will not reduce functional open space.

In addition to the preceding urban sprawl indicators, Florida Statutes Section 163.3177 also establishes eight (8) “Urban Form” criteria. An amendment to the Future Land Use Map is presumed to not be considered urban sprawl if it meets four (4) of the (8) urban form criteria. These urban form criteria, and an evaluation of each as each may relate to this application, are provided below. The applicant has provided an analysis of the application’s consistency with Section 163.3177 within the application materials, and contends that the proposed amendment will not encourage urban sprawl by showing it meets four of the eight urban form criteria.

1. Directs or locates economic growth and associated land development to geographic areas of the community in a manner that does not have an adverse impact on and protects natural resources and ecosystems.

Evaluation & Findings: The project site is located within existing commercial development where development will occur in developed areas as opposed to undeveloped areas. The proposed development directs the growth within the urban area.

2. Promotes the efficient and cost-effective provision or extension of public infrastructure and services.

Evaluation & Findings: This application, as well as the companion rezoning application, will result in a higher density commercial development utilizing existing public infrastructure and existing services.

3. Promotes walkable and connected communities and provides for compact development and a mix of uses at densities and intensities that will support a range of housing choices and a multimodal transportation system, including pedestrian, bicycle, and transit, if available.

Evaluation & Findings: This application and the companion rezoning application will allow for higher density commercial development, allowing for a more urban type of development in the downtown area. It will increase the walkability of the downtown area through redesign of the sidewalk and landscaping, as well as through active building edges along Orange Avenue, which will increase safety and vibrancy of the area.

4. Promotes conservation of water and energy.

Evaluation & Findings: The project site is located within an urban area with surrounding commercial development. Development in core urban areas reduces the pressure to develop in areas further outside of the urban areas.

5. Preserves agricultural areas and activities, including silviculture, and dormant, unique, and prime farmlands and soils.

Evaluation & Findings: The project site is located within an urban area with surrounding development. There are no adjacent agricultural areas and activities. Development in core urban areas reduces the pressure to develop in agricultural areas.

6. Preserves open space and natural lands and provides for public open space and recreation needs.

Evaluation & Findings: N/A

7. Creates a balance of land uses based upon demands of the residential population for the nonresidential needs of an area.

Evaluation & Findings: The proposed site is located within close proximity to a variety of nonresidential uses. The proposed development will bring new businesses into this mixed-use, urban area, providing a balance of land uses to the area.

8. Provides uses, densities, and intensities of use and urban form that would remediate an existing or planned development pattern in the vicinity that constitutes sprawl or if it provides for an innovative development pattern such as transit-oriented developments or new towns as defined in s. 163.3164.

Evaluation & Findings: N/A

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The following Goals, Objectives, and Policies (GOPs) support the proposed amendment to the Future Land Use Map of the City of Green Cove Springs Comprehensive Plan:

FUTURE LAND USE ELEMENT

Goal 1: To develop and maintain land use programs and activities to provide for the most appropriate use of the land and direct growth to suitable areas while protecting the public, health, safety and welfare.

Policy 1.3.4: To promote redevelopment, the City shall allow higher densities and structures up to five (5) stories high in appropriate areas.

TRANSPORTATION ELEMENT

Objective 2.8 Site Development Traffic Circulation: The City shall require that all major developments and planned unit developments provide a circulation system which: provides adequate access to the major roadway network; provides for sound design of local and collector streets within such development....

SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER, AND AQUIFER RECHARGE ELEMENT

Objective 4.6: Future development shall be required to connect with central sewer and water systems and provide drainage facilities which maximize the use of existing facilities and discourage urban sprawl.

PUBLIC FACILITIES IMPACT

Traffic Impacts

Land Use ¹ (ITE)	Square Feet	Daily		PM Peak	
		Rate	Trips	Rate	Trips
Maximum Development Potential Based on Existing FLU					
General Commercial (ITE 820)	21,954	42.94	2,535	3.37	74
Total	-	-	144	-	11

Land Use ¹ (ITE)	Square Feet	Daily		PM Peak	
		Rate	Trips	Rate	Trips
Proposed					
Residential Condo/TH (ITE 820)	109,771	42.94	7,212	3.37	677
Total	-	-	174	-	16

1. Source: Institute of Transportation Engineers: Trip Generation Manual 9th Edition

Conclusion: The proposed maximum development within the CBD Future Land Use Designation on the ±1.26-acre site would result in a potential net increase of over 4,500 Annual Average Daily Trips (AADT).

The full access point on US 17 does not meet FDOT spacing requirements. FDOT will review the access point as part of a redevelopment project. Due to its spacing from the signalized intersection at Ferris Street and the unsignalized full intersection at Bay St, this access point is a safety concern and most likely shall be removed as a part of a redevelopment project.

All development shall comply with FDOT site triangle requirements to ensure visibility for turning movements.

Potable Water & Sanitary Sewer Impacts

Water and Sewer impact would be determined by staff at the time development plans are brought forth, as impact for commercial development is based on usage, which is more difficult to estimate than it is for residential development, where there is an average per person to use for calculations.

For the existing spaces in the plaza, the following are average monthly water / wastewater consumption values in gallons:

- 200-A S Orange Ave, Vacant: 4 (2017: 7,958)
- 200-B S Orange Ave, Green Cove Dental: 446
- 204 S Orange Ave, Dollar Tree: 44,048
- 206 S Orange Ave, Green Cove Kitchen: 7,932

Conclusion: The City of Green Cove Springs has available capacity to meet demands from new development and does not anticipate this proposed future land use amendment or rezoning will exceed the City's adopted LOS or permitted capacity

Solid Waste Impacts

The City of Green Cove Springs' solid waste is disposed of at the Rosemary Hill Solid Waste Management Facility operated by Clay County. Per the Clay County Comprehensive Plan, a minimum of three (3) years capacity shall be maintained at the County's solid waste management facility. For commercial developments, the City does not provide Curbside Service; commercial locations must instead contract with an approved franchisee for containerized collection.

Conclusion: The proposed future land use amendment and rezoning are not expected to negatively impact the City's adopted LOS or exceed the County solid waste management facility's capacity.

STAFF COMMENTS

Staff informed the applicant of concerns related to parking and visibility when turning off of Ferris or Bay Street onto Orange Avenue, and Staff suggested changes to the conceptual plan for these concerns.

Attachments include:

- 1. FLUM Application

STAFF RECOMMENDATION

Staff recommends approval of the future land use amendment and rezoning.

RECOMMENDED MOTION: (Future Land Use Amendment)

Motion to recommend to City Council the approval of Ordinance O-07-2021, to amend the Future Land Use of the property described therein from Commercial High Intensity to Central Business District.



FOR OFFICE USE ONLY

Item # 2.

P Z File # _____

Application Fee: _____

Filing Date: _____ Acceptance Date: _____

Review Date: SRDT _____ P & Z _____ CC _____

Small Scale Future Land Use Map Amendment Application

A. PROJECT

1. Project Name: Dollar Tree Plaza Redevelopment
2. Address of Subject Property: 200 - 206 South Orange Avenue
3. Parcel ID Number(s): 017301-000-00
4. Existing Use of Property: Shopping Center
5. Future Land Use Map Designation: CHI - Commercial High Intensity
6. Existing Zoning Designation: GCC - Gateway Corridor Commercial
7. Proposed Future Land Use Map Designation: CBD - Central Business District
8. Acreage (must be 10 acres or less): 1.26

B. APPLICANT

1. Applicant's Status Owner (title holder) Agent
2. Name of Applicant(s) or Contact Person(s): Janis Fleet Title: President
Company (if applicable): Fleet & Associates Architects/Planners Inc.
Mailing address: _____
City: Jacksonville State: Florida ZIP: 32223
Telephone: (904) 666-7038 FAX: () e-mail: jfleet@fleetarchitectsplanners.net

3. If the applicant is agent for the property owner*
Name of Owner (title holder): 200 North Orange Ave Holding LLC
Mailing address: PO Box 40316
City: Brooklyn State: New York ZIP: 11204
Telephone: (904) 760-6332 FAX: () e-mail: bernies3000@yahoo.com

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contact for sale of, or options to purchase, the subject property?
 Yes No If yes, list names of all parties involved:

If yes, is the contract/option contingent or absolute?
 Contingent Absolute

D. ATTACHMENTS

1. Statement of proposed change, including a map showing the proposed Future Land Use Map change and Future Land Use Map designations on surrounding properties
2. A map showing the zoning designations on surrounding properties
3. A current aerial map (Maybe obtained from the Clay County Property Appraiser.)
4. Plat of the property (Maybe obtained from the Clay County Property Appraiser.)
5. Legal description with tax parcel number.
6. Boundary survey
7. Warranty Deed or the other proof of ownership
8. Fee.

a. \$750

b. All applications are subject 10% administrative fee and must pay the cost of postage, signs, advertisements and the fee for any outside consultants.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 8 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

[Signature]
Signature of Applicant

Signature of Co-applicant

Janis K. Fleet
Typed or printed name and title of applicant

Typed or printed name of co-applicant

3/13/2021
Date

Date

State of FLORIDA County of DUVAL

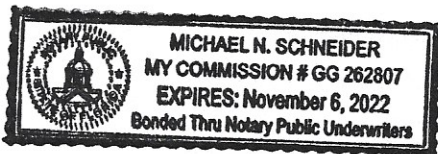
The foregoing application is acknowledged before me this 13th day of MARCH, 2021 by JANIS

FLEET, who is/are personally known to me, ~~or who has/have produced~~ _____ as identification, AND IN MY PHYSICAL PRESENCE

NOTARY SEAL

[Signature]

Signature of Notary Public, State of FLORIDA

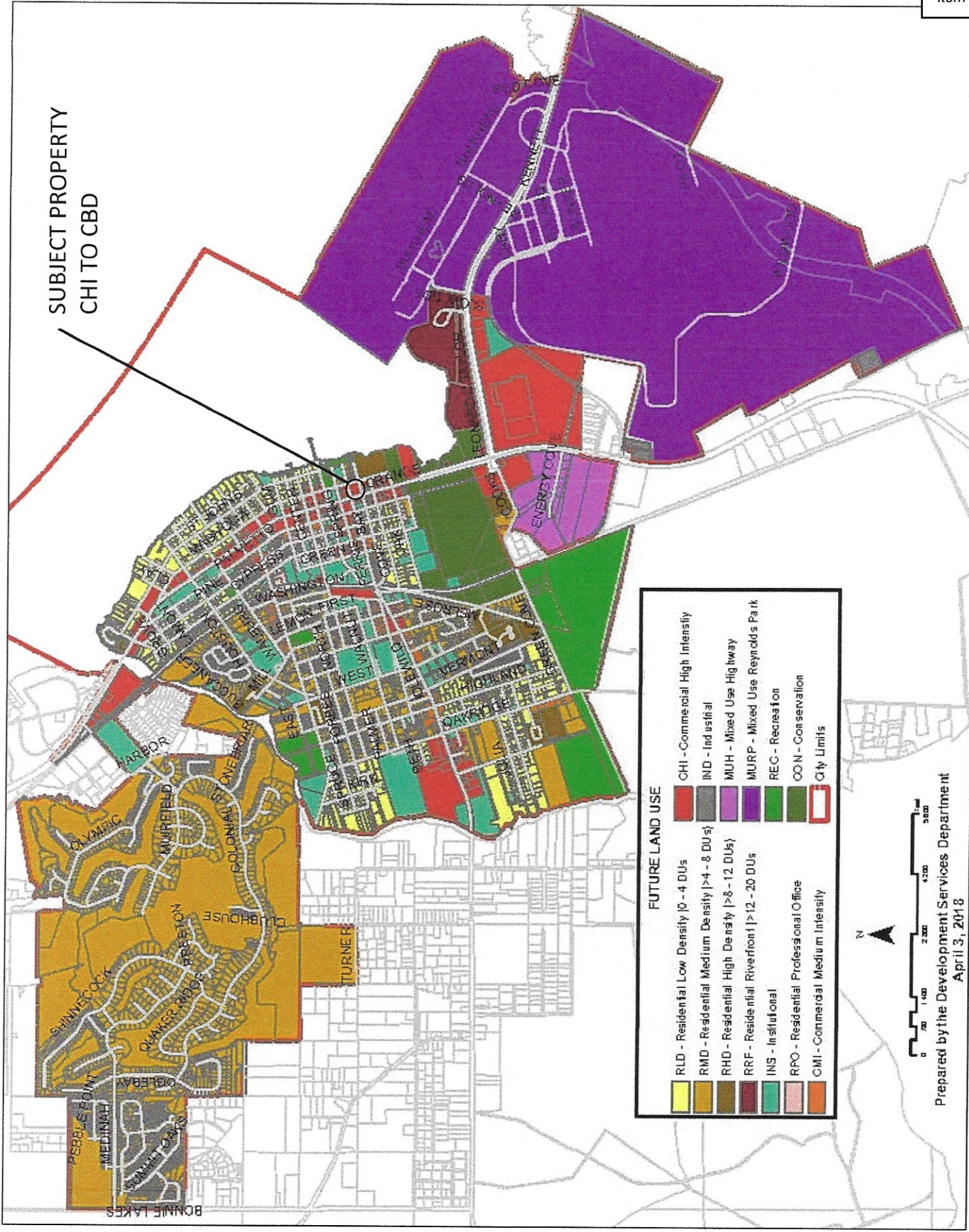


STATEMENT OF PROPOSED CHANGE

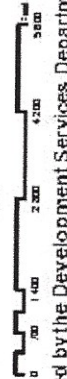
The parcel for the proposed Small Scale Future Land Use Map (FLUM) amendment has a designation of CHI – Commercial High Intensity. The Central Business District (CBD) FLUM category ends on Ferris Street, the north property line of the subject property. This property was originally developed in 1972. The property was sold to its current owner in December of 2020. The current property owner would like to redevelop the property with the design controls permitted in the CBD zoning category. The FLUM category needs to be changed to allow redevelopment of the site consistent with the CBD zoning category.

The existing building on the property is built to the property line. One of the characteristics of properties in the CBD FLUM/Zoning category is that structures were constructed to their property lines. The properties in the CBD FLUM/Zoning category are allowed to be redeveloped to their property lines, with no setbacks. This allows the building facade to line the street instead of parking lots. The change to the CBD FLUM designation will allow the redevelopment of the parcel with a building line consistent with the Spring Park Coffee Center on the north side of Ferris Street and the established building line of the existing structure on the site. This Small Scale FLUM amendment is being requested with a companion rezoning for the property.

The project will redevelop an aged shopping center site. It will provide additional commercial development in Green Cove Springs. The parcel will be maintained under common ownership. The proposed development is compatible with the surrounding commercial development in the area and will promote a more walkable community. It will improve the property values in the South Orange Avenue/Ferris Street area of Green Cove Springs.

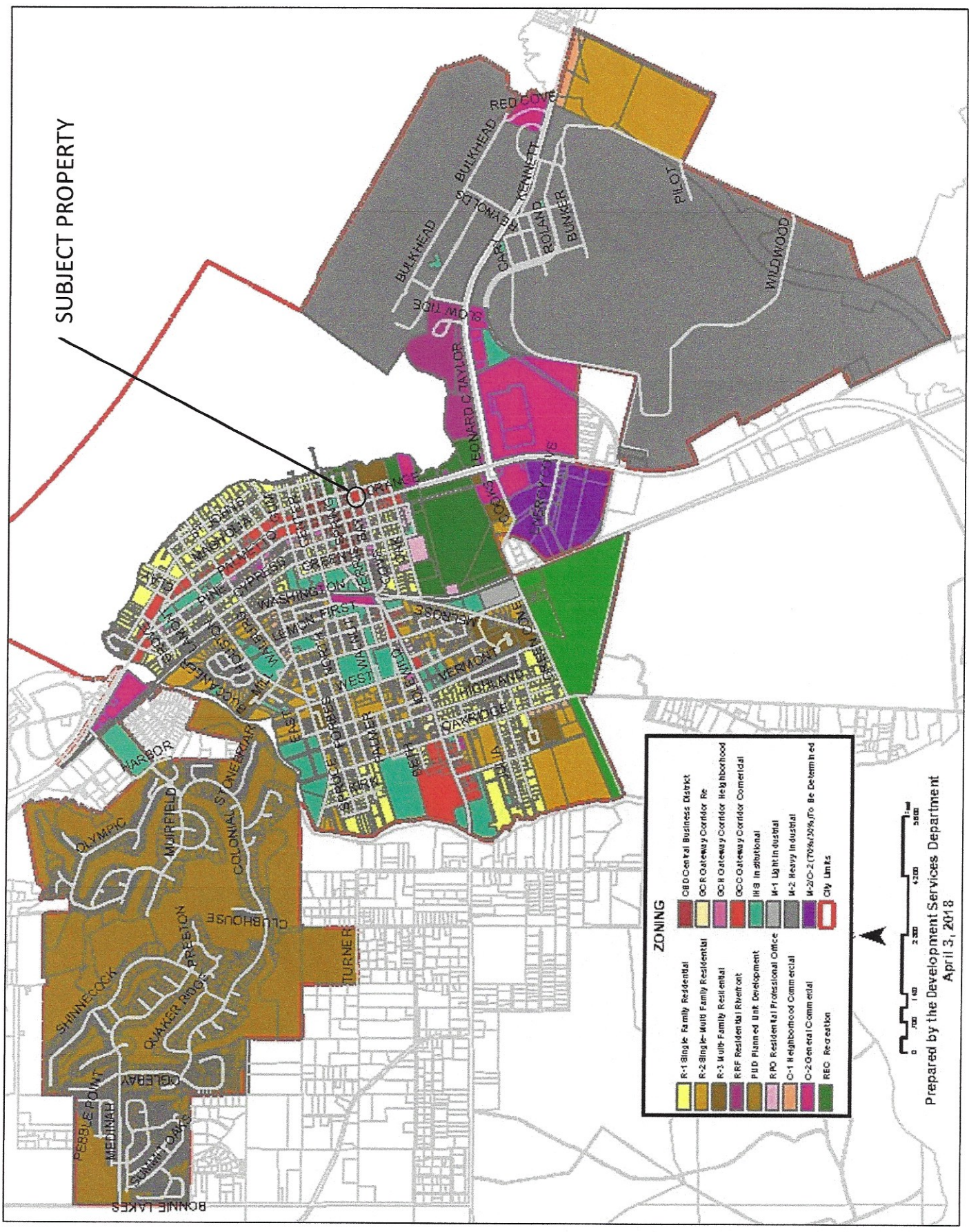


SUBJECT PROPERTY
CHI TO CBD



Prepared by the Development Services Department
April 3, 2018

SUBJECT PROPERTY



ZONING

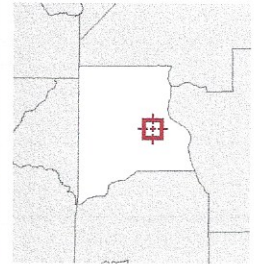
R-1 Single Family Residential	CCB Central Business District
R-2 Single-Multi Family Residential	CCO Gateway Corridor Re
R-3 Multi-Family Residential	CCO Gateway Corridor High Neighborhood
R-RF Residential Rivertown	CCO Gateway Corridor Commercial
PUD Planned Unit Development	IWB Institutional
R-PO Residential Professional Office	M-1 Light Industrial
C-1 Neighborhood Commercial	M-2 Heavy Industrial
C-2 General Commercial	M-2/C-2 (70%/30%) Be Determined
REC Recreation	City Limits



Prepared by the Development Services Department
April 3, 2018



Overview



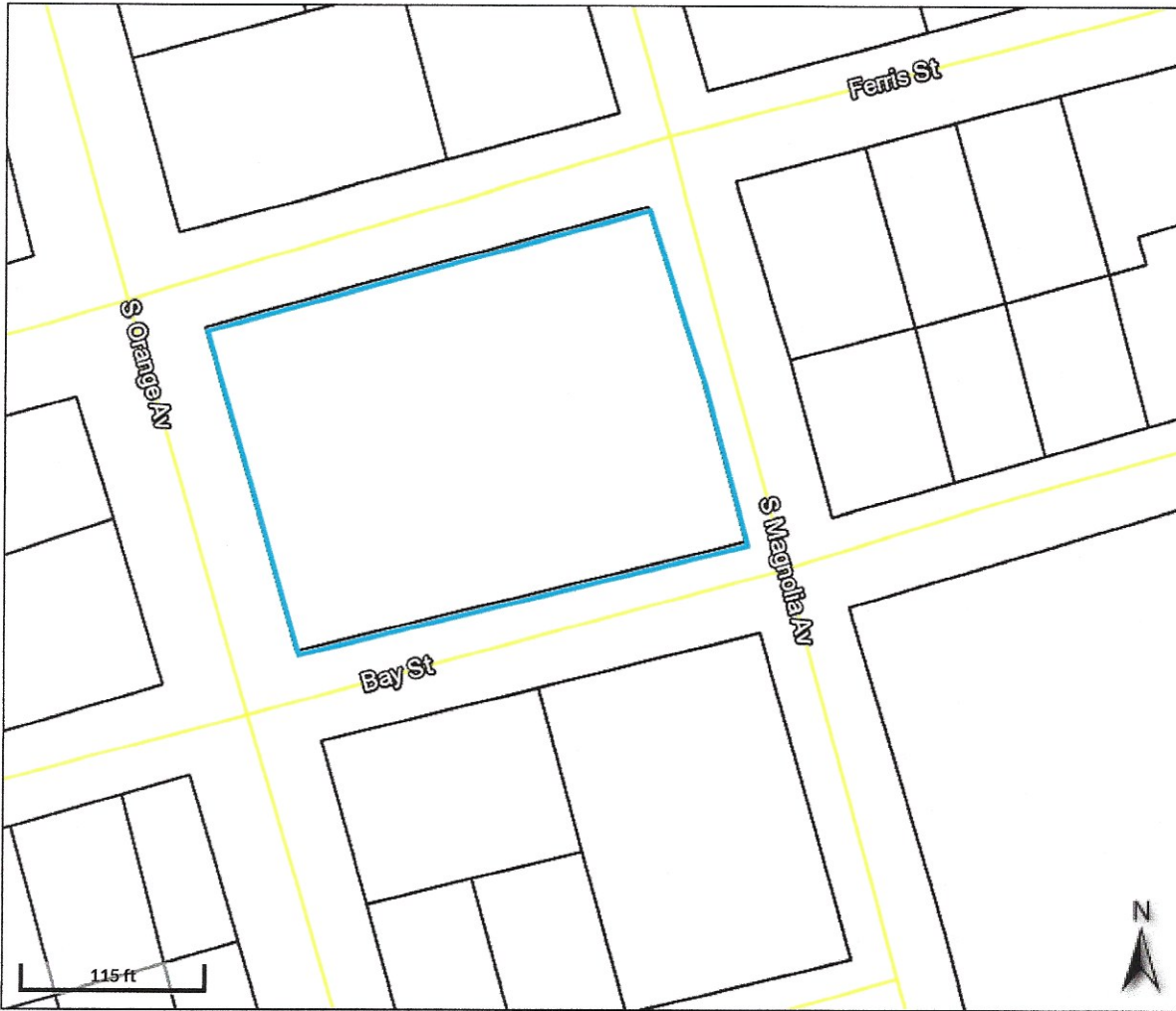
Legend

- Parcels
- Roads
- Conservation Easements

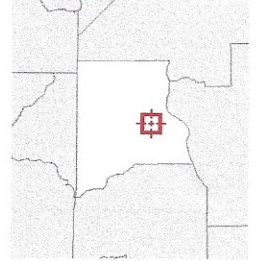
Parcel ID 38-06-26-017301-000-00	Physical Address 200-206 S ORANGE Ave	Land Value \$426,933	Last 2 Sales				
Acres 1.256	Address Green Cove Springs	Ag Land Value \$0	Date 12/30/2020	Price \$1530000	Reason QUAL/DEED EXAMINATION	Qual Q	
Property Class UNANCHORED	Mailing Address 200 N Orange Ave Holdings LLC	Building Value \$383,067	Date 12/22/2009	Price \$100	Reason UNQUAL/CORRECTIVE/QCD,TD	Qual U	
Taxing District 002	Address PO Box 40316 Brooklyn, NY 11204	Misc Value \$0	Just Value \$810,000	Assessed Value \$810,000			
		Exempt Value \$0	Taxable Value \$810,000				

Date created: 3/12/2021
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Overview



Legend

- Parcels
- Roads
- Conservation Easements

Parcel ID 38-06-26-017301-000-00	Physical Address 200-206 S ORANGE Ave Green Cove Springs	Land Value \$426,933	Last 2 Sales					
Acres 1.256		Ag Land Value \$0	Date 12/30/2020	Price \$1530000	Reason QUAL/DEED EXAMINATION	Qual Q		
Property Class UNANCHORED SHOPPING CENTER	Mailing Address 200 N Orange Ave Holdings LLC PO Box 40316 Brooklyn, NY 11204	Building Value \$383,067	Date 12/22/2009	Price \$100	Reason UNQUAL/CORRECTIVE/QCD,TD	Qual U		
Taxing District 002		Misc Value \$0						
		Just Value \$810,000						
		Assessed Value \$810,000						
		Exempt Value \$0						
		Taxable Value \$810,000						

Date created: 3/12/2021
 Last Data Uploaded: 3/12/2021 7:44:41 AM

Developed by Schneider GEOSPATIAL

LEGAL DESCRIPTION

RE# 017301-000-00

Lots 1, 2, 3, and 4, Block 17, of GREEN COVE SPRINGS, according to the Plat thereof as recorded in Plat Book 2, Page 1 of the Public Records of Clay County, Florida.

MAP SHOWING BOUNDARY SURVEY

DESCRIPTION

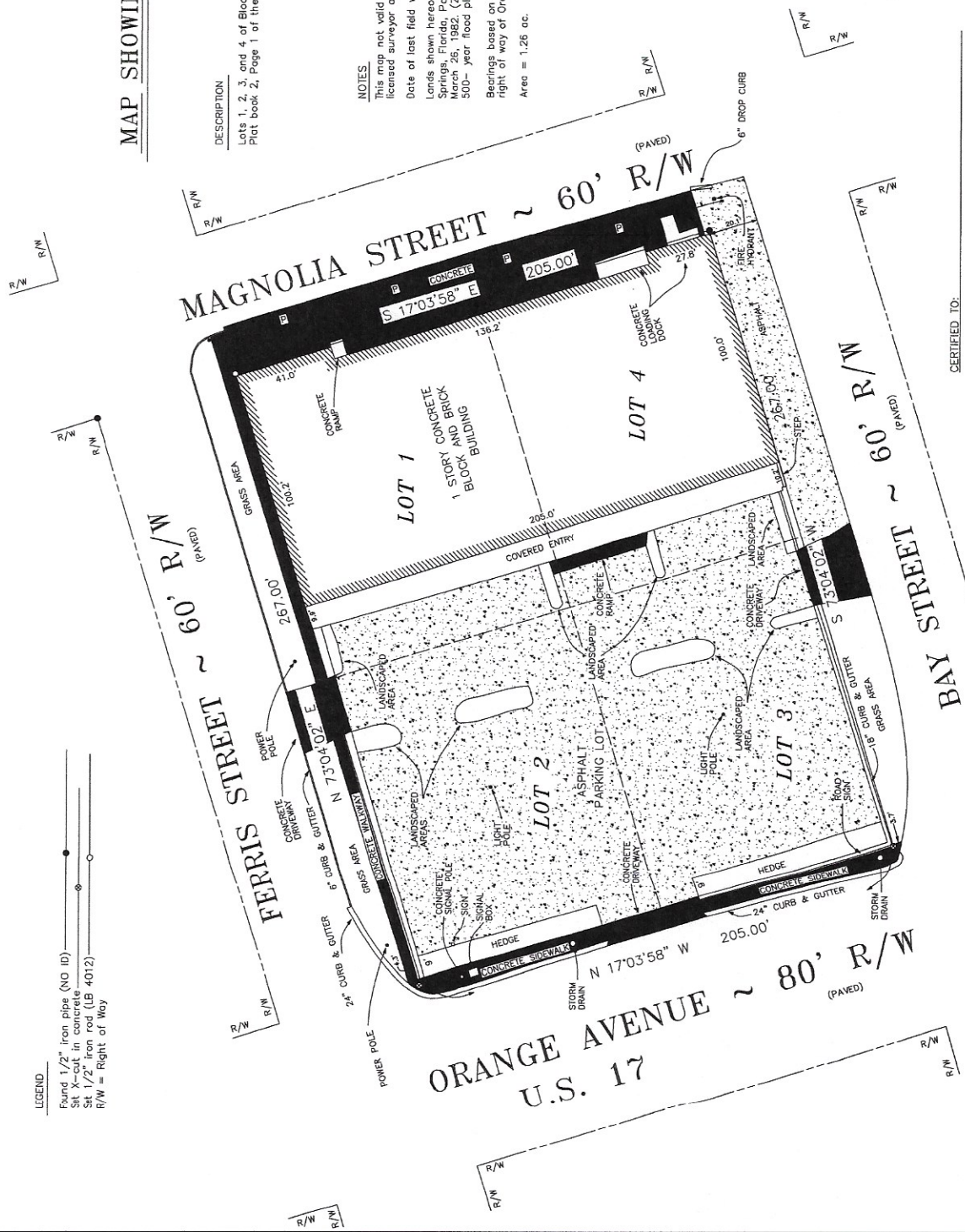
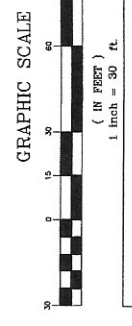
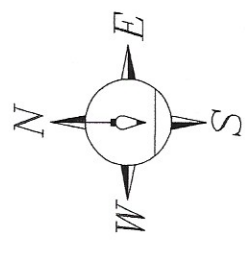
Lots 1, 2, 3, and 4 of Block 17 of Green Cove Springs as per plat recorded in Plat book 2, Page 1 of the public records of Clay County, Florida.

NOTES

This map not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 Date of last field work was September 12, 2001.

Lands shown herein lie in Zone X as per Flood Insurance Rate Map of Green Cove Springs, Florida, Panel 1 of 2, Map Number 120065 0001 C, effective date March 26, 1982. (Zone X is an area determined to be outside the 500- year flood plain.)

Bearings based on a bearing of N.17°03'58" W for the Easterly boundary of the right of way of Orange Street as previously surveyed.
 Area = 1.28 ac.



LEGEND
 Found 1/2" iron pipe (NO ID)
 Slt. X-cut in concrete
 Slt. 1/2" iron rod (LB 4012)
 R/W = Right of Way

CERTIFIED TO:

SURVEYOR'S CERTIFICATION
 I hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Professional Surveyors and the Florida Department of Administrative Code, pursuant to Section 472.027, Florida Statutes.

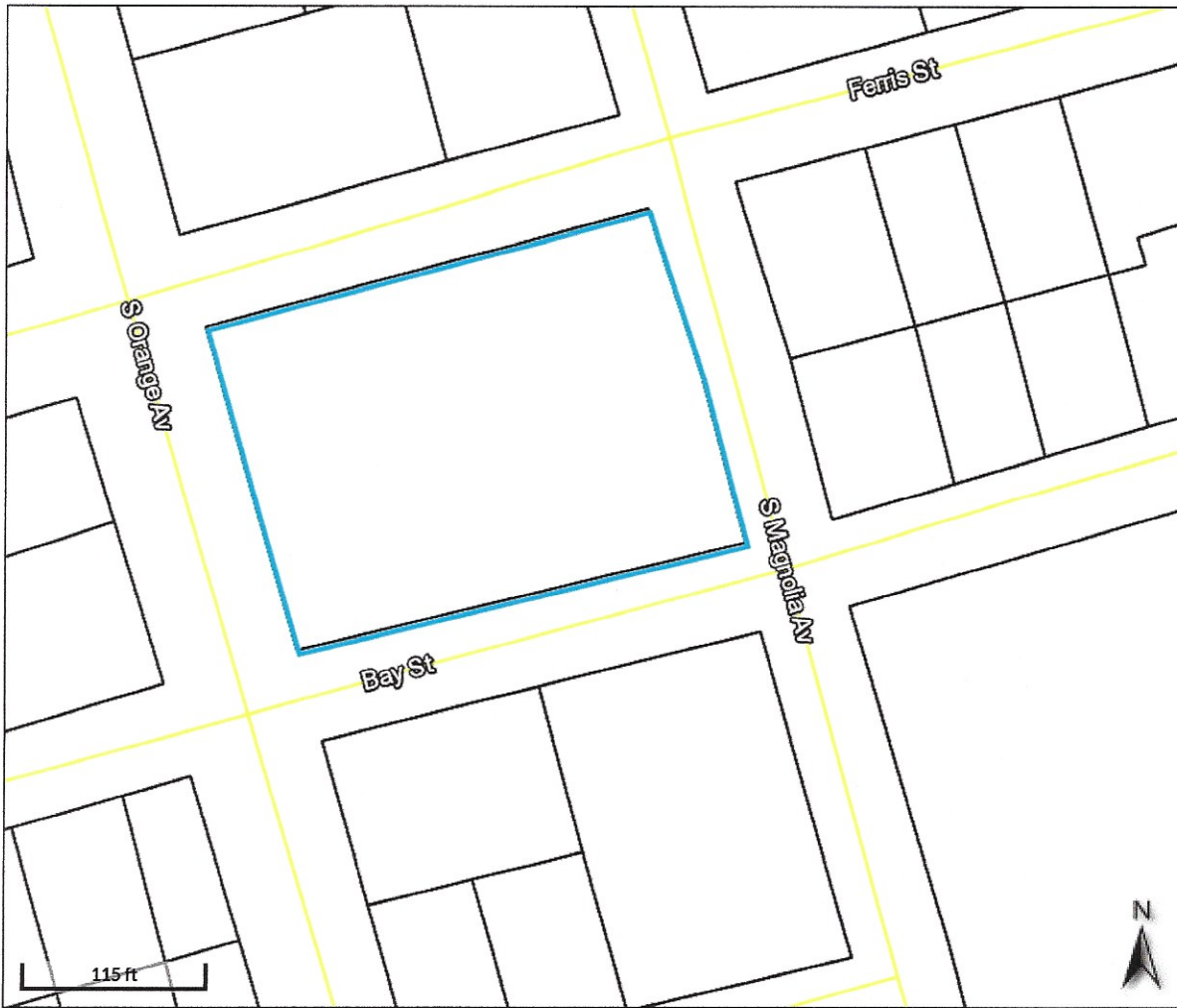
By: PATRICK B. WELCH, FSM
 FLORIDA CERTIFICATE NO. 2714
 BUSINESS NO. LB 4012

DATE SIGNED

FOR : BELCO ENTERPRISES

DRAWN BY: MTB CHECKED BY: J. FEW FIELD BOOK: L 416
 SCALE: 1" = 30' JOB NO.: 09-01-09 MAP NO.: 1B-2226

PATRICK B. WELCH & ASSOCIATES, INC.
 LAND SURVEYING, PLANNING & DRAFTING SERVICE
 P.O. BOX 809 STARKE, FLORIDA 32091
 870 WEST MACMAHON STREET
 (904) 964-8292



Overview



Legend

- Parcels
- Roads
- Conservation Easements

Parcel ID 38-06-26-017301-000-00	Physical Address 200-206 S ORANGE Ave	Land Value \$426,933	Last 2 Sales					
Acres 1.256	Address Green Cove Springs	Ag Land Value \$0	Date 12/30/2020	Price \$1530000	Reason QUAL/DEED EXAMINATION		Qual Q	
Property Class UNANCHORED	Mailing Address 200 N Orange Ave Holdings LLC	Building Value \$383,067	Date 12/22/2009	Price \$100	Reason UNQUAL/CORRECTIVE/QCD,TD		Qual U	
Taxing District 002	Address PO Box 40316 Brooklyn, NY 11204	Misc Value \$0	Just Value \$810,000					
		Assessed Value \$810,000						
		Exempt Value \$0						
		Taxable Value \$810,000						

Date created: 3/12/2021
 Last Data Uploaded: 3/12/2021 7:44:41 AM

Developed by Schneider GEOSPATIAL

CFN # 2021001335, OR BK: 4400 PG: 27, Pages1 / 3, Recorded 1/8/2021 10:10 AM, Doc: D
TARA S. GREEN Clerk Circuit Court, Clay County, FL Rec: \$27.00 Doc D: \$10,710.00
Deputy Clerk HAMPSHIRET

THIS INSTRUMENT PREPARED BY:

**Arnold Law
Diane Saxon
718 N. Orange Ave
Green Cove Springs, FL 32043**

RECORD AND RETURN TO:

Grantee

RE PARCEL ID #: 380626-017301-000-00
CONTRACT SALES PRICE: \$1,530,000.00

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made this 30th day of **December, 2020**, by **FRANKLIN E. CHANEY, TRUSTEE OF THE FRANKLIN E. CHANEY LIVING TRUST DATED DECEMBER 22, 2009** organized under the laws of the State of California, whose mailing address is: **116 Orange Ave. N., Green Cove Springs, FL 32043**, party of the first part hereinafter referred to as "Grantor" to **200 N. ORANGE AVE HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY**, whose address is **PO Box 40316, Brooklyn, NY 11204**, party of the second part hereinafter referred to as "Grantee".

WITNESSETH: That Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell unto Grantee, all that certain land situate in **Clay County, Florida**, to wit:

Lots 1, 2, 3 and 4, Block 17, of GREEN COVE SPRINGS, according to the Plat thereof as recorded in Plat Book 2, page 1, of the Public Records Clay County, Florida.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

SUBJECT to the matters set forth on Exhibit "A" attached hereto and made a part hereof (collectively, the "Permitted Exceptions"), provided this shall not serve to reimpose any of the same.

GRANTOR WILL WARRANT and forever defend the right and title to the above described real property unto the Grantee against the claims of all person(s) claiming by, through or under Grantor, subject to the Permitted Exceptions. (Wherever used herein the terms "Grantor" and "Grantee" included all the parties to this instrument and the heirs, legal representatives and assigns of individuals and the successors and assigns of corporation.)

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Marie Alexander
Witness

Franklin E Chaney
By: Franklin E. Chaney, Trustee
of The Franklin E. Chaney Living Trust
Dated December 22, 2009

Robin Estes
Robin Estes
Witness

STATE OF FLORIDA
COUNTY OF CLAY

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 30th day of December, 2020 by Franklin E Chaney, Trustee of The Franklin E. Chaney Living Trust dated December 22, 2009. He/She/They is/are _____ personally known to me or have produced FLDL as identification.

[Signature]
Notary

My Commission expires: _____



Documentary Stamps in the amount of \$10,710.00 have been paid.

EXHIBIT "A"

PERMITTED ENCUMBRANCES

1. The lien of taxes and assessments for the current year and subsequent years;
2. Matters that would be shown by an accurate survey and inspection of the property;
3. All covenant, restrictions, conditions, easements, reservations, rights-of-way, and other matters of records, to the extent valid, subsisting and enforceable;
4. Zoning requirements, statutes, rules, orders, restrictions, regulations and ordinances of governmental agencies or their instrumentalities relating to the property, the buildings located thereon, their construction and uses, in force on the date hereof (if any such exist); and
5. Any licenses, permits, authorizations or similar items (if any) in connection with the conduct of any activity upon the property.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
200 NORTH ORANGE AVE HOLDING LLC

Filing Information

Document Number L20000343248
FEI/EIN Number NONE
Date Filed 11/09/2020
State FL
Status ACTIVE

Principal Address

211457 STREET
BROOKLYN, NY 11204

Mailing Address

211457 STREET
BROOKLYN, NY 11204

Registered Agent Name & Address

VCORP SERVICES, LLC
5011 SOUTH STATE ROAD 7, SUITE 106
DAVIE, FL 33314

Authorized Person(s) Detail

Name & Address

Title AMBR

NIEDERMAN, BERNARD
POB 40316
BROOKLYN, NY 11204

Annual Reports

No Annual Reports Filed

Document Images

[11/10/2020 -- Florida Limited Liability](#) [View image in PDF format](#)



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning & Zoning Commission **MEETING DATE:** April 27, 2021
FROM: Michael Daniels, AICP, Planning & Zoning Director
SUBJECT: Rezoning from Gateway Corridor Commercial to Central Business District for property located at 200-206 Orange Avenue

PROPERTY DESCRIPTION

APPLICANT: Janis Fleet, Fleet and Associates **OWNER:** 200 North Orange Avenue Holding LLC

PROPERTY LOCATION: 200-206 N Orange Ave

PARCEL NUMBER: 017301-000-00

FILE NUMBER: 202100023 & 202100224

CURRENT ZONING: GCC – Gateway Corridor Commercial

FUTURE LAND USE DESIGNATION: CHI – Commercial High Intensity

SURROUNDING LAND USE

NORTH:	FLU: CHI Z: CBD Use: Retail	SOUTH:	FLU: CHI/RMD Z: GCC/INS Use: Undeveloped
EAST:	FLU: RMD Z: R-2 Use: Residential	WEST:	FLU: CHI Z: GCC Use: Retail

BACKGROUND

The applicant has applied for a Zoning Change for the subject property from Gateway Corridor Commercial to Central Business District. The purpose of the request is to allow for additional development in close proximity to US 17 that is consistent with development form within the Central Business District.

The current zoning Gateway Corridor Commercial is intended for all property located in the gateway corridor and designated as CHI (commercial high intensity) and INS (institutional) on the future land use map. Allowed uses include commercial uses, such as hotels, motels, automobile sales, service and repair, housing above businesses, churches and others. The allowed uses are predominantly commercial and retail uses.

The proposed Central Business District is guided predominantly for retail and service establishments consistent with the redevelopment of the downtown area.

PROPERTY DESCRIPTION

200-206 S Orange Ave is a developed commercial property on 1.26 acres. There is an existing structure on the property with 19,819 square feet. It currently contains two suites occupied by Dollar Tree and Green Cove Dental and two vacant suites (one at each end of the plaza). There are approximately 64 parking spaces available. There are two monument signs along Orange Avenue. The site has access to Ferris Street to the north and Bay Street to the south. The property also has a full access point on US 17.

Figure 1. Existing Structure (Google Streetview, Oct. 2019)



Figure 2. Aerial Map

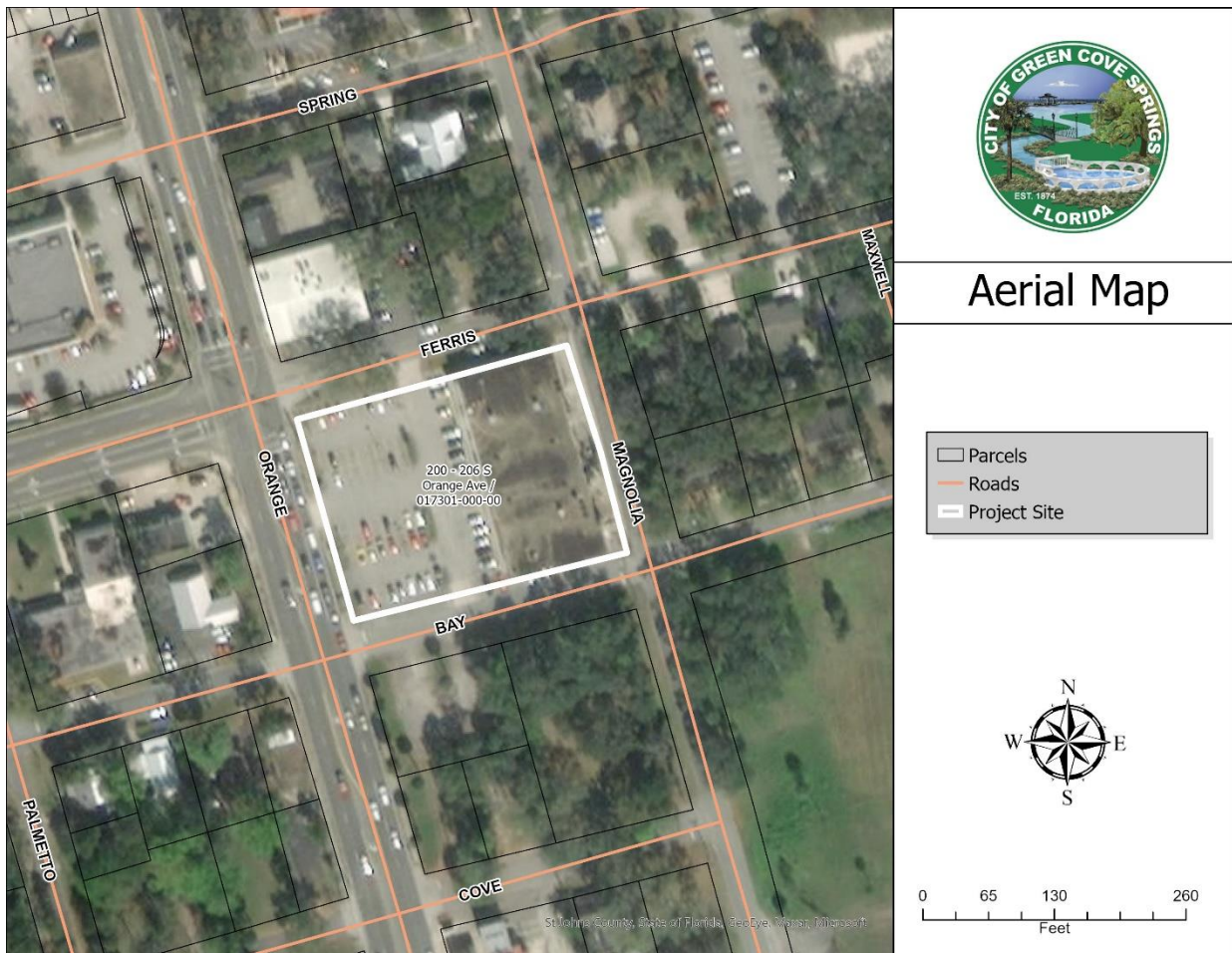


Table 1. FLUM Designation Comparison

	Existing	Proposed
FLUM District	Commercial High Intensity (CHI)	Central Business District (CBD)
Max. Floor Area Ratio	0.40	2.0
Typical Uses	Commercial uses, such as hotels, motels, automobile sales, service and repair, housing above businesses, churches and others	Retail and service establishments consistent with the redevelopment of the downtown area.

Table 2. Zoning District Comparison

	Gateway Corridor Commercial	Central Business District
Front Setback	10 feet	Continuity of Front Alignment
Rear Setback	10 feet	None
Side Setback	10 feet	None
Maximum Structure Height	54 feet; up to 70 feet with tiering	Conform to density requirements of adjacent structures
Maximum # of Stories	4	Same as above.
Parking Requirement	1/333 sqft of non-storage floor area	Adhere to Sec. 113-157 or alternatively comply per Sec. 117-447(b) .

Table 3. Parking Requirements

	Existing Zoning (GCC)	Proposed Zoning (CBD)
Total Square Footage	19,819 sqft	19,819 sqft
Required # of Spaces	60	78
Existing # of Spaces	64	64*

*Does not include parking spaces shown in the rear of the building on the conceptual plan, because those spaces are in the right-of-way, which is not allowed.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The following Goals, Objectives, and Policies (GOPs) support the proposed amendment to the Future Land Use Map of the City of Green Cove Springs Comprehensive Plan:

FUTURE LAND USE ELEMENT

Goal 1: To develop and maintain land use programs and activities to provide for the most appropriate use of the land and direct growth to suitable areas while protecting the public, health, safety and welfare.

Policy 1.3.4: To promote redevelopment, the City shall allow higher densities and structures up to five (5) stories high in appropriate areas.

TRANSPORTATION ELEMENT

Objective 2.8 Site Development Traffic Circulation: The City shall require that all major developments and planned unit developments provide a circulation system which: provides adequate access to the major roadway network; provides for sound design of local and collector streets within such development....

SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER, AND AQUIFER RECHARGE ELEMENT

Objective 4.6: Future development shall be required to connect with central sewer and water systems and provide drainage facilities which maximize the use of existing facilities and discourage urban sprawl.

PUBLIC FACILITIES IMPACT

Traffic Impacts

Land Use ¹ (ITE)	Square Feet	Daily		PM Peak	
		Rate	Trips	Rate	Trips
Maximum Development Potential Based on Existing FLU					
General Commercial (ITE 820)	21,954	42.94	2,535	3.37	74

Land Use ¹ (ITE)	Square Feet	Daily		PM Peak	
		Rate	Trips	Rate	Trips
Proposed					
Residential Condo/TH (ITE 820)	109,771	42.94	7,212	3.37	677

1. Source: Institute of Transportation Engineers: Trip Generation Manual 9th Edition

Conclusion: The proposed maximum development within the CBD Future Land Use Designation on the ±1.26-acre site would result in a potential net increase of over 4,500 Annual Average Daily Trips (AADT).

The full access point on US 17 does not meet FDOT spacing requirements. FDOT will review the access point as part of a redevelopment project. Due to its spacing from the signalized intersection at Ferris Street and the unsignalized full intersection at Bay St, this access point is a safety concern and most likely shall be removed as a part of a redevelopment project.

All development shall comply with FDOT site triangle requirements to ensure visibility for turning movements.

Potable Water & Sanitary Sewer Impacts

Water and Sewer impact would be determined by staff at the time development plans are brought forth, as impact for commercial development is based on usage, which is more difficult to estimate than it is for residential development, where there is an average per person to use for calculations.

For the existing spaces in the plaza, the following are average monthly water / wastewater consumption values in gallons:

- 200-A S Orange Ave, Vacant: 4 (2017: 7,958)
- 200-B S Orange Ave, Green Cove Dental: 446
- 204 S Orange Ave, Dollar Tree: 44,048
- 206 S Orange Ave, Green Cove Kitchen: 7,932

Conclusion: The City of Green Cove Springs has available capacity to meet demands from new development and does not anticipate this proposed future land use amendment or rezoning will exceed the City’s adopted LOS or permitted capacity

Solid Waste Impacts

The City of Green Cove Springs’ solid waste is disposed of at the Rosemary Hill Solid Waste Management Facility operated by Clay County. Per the Clay County Comprehensive Plan, a minimum of three (3) years capacity shall be maintained at the County’s solid waste management facility. For commercial developments, the City does not provide Curbside Service; commercial locations must instead contract with an approved franchisee for containerized collection.

Conclusion: The proposed future land use amendment and rezoning are not expected to negatively impact the City’s adopted LOS or exceed the County solid waste management facility’s capacity.

STAFF COMMENTS

Redeveloping the property in conformance with the requirements of the Central Business District will be an opportunity to improve the built environment in the downtown core. There are development requirements that will have to be met. Staff informed the applicant that redevelopment will be required to comply with all of the requirements of the Land Development Regulations. Some of the key issues of that will need to be addressed include:

- Parking requirements shall comply with Sec. 113-157 or provide an alternative method of compliance pursuant to Sec. 117-447(b). Parking shown on the conceptual plan as in the right-of-way is not permitted.
- Development plans must also comply with Sec. 113-244 regarding landscaping adjacent to US 17.
- All buildings shall comply with sight triangle requirements of FDOT to ensure safe visibility for all motorists and non-motorists.
- Driveway locations on US 17 shall be reviewed by FDOT for site redevelopment.
- Dumpster location shall comply with City code requirements.

Approval of the future land use amendment and rezoning would not constitute nor guarantee approval of a site development plan.

Attachments include:

1. Rezoning Application

STAFF RECOMMENDATION

Staff recommends approval of the rezoning request.

RECOMMENDED MOTIONS: (Rezoning)

Motion to recommend to City Council the approval of Ordinance O-08-2021, to amend the Zoning of the property described therein from Gateway Corridor Commercial to Central Business District.



FOR OFFICE USE ONLY		Item # 3.
P Z File #	_____	
Application Fee:	_____	
Filing Date:	_____ Acceptance Date: _____	
Review Date:	SRDT _____ P & Z _____ CC _____	

Rezoning Application

A. PROJECT

- Project Name: Dollar Tree Plaza Redevelopment
- Address of Subject Property: 200 - 206 South Orange Avenue
- Parcel ID Number(s): 017301-000-00
- Existing Use of Property: Shopping Center
- Future Land Use Map Designation: CHI - Commercial High Intensity
- Existing Zoning Designation: Gateway Corridor Commercial
- Proposed Zoning Designation: Central Business District
- Acreage: 1.26

B. APPLICANT

- Applicant's Status Owner (title holder) Agent
- Name of Applicant(s) or Contact Person(s): Janis Fleet Title: President
 Company (if applicable): Fleet & Associates Architects/Planners Inc.
 Mailing address: 11557 Hidden Harbor Way
 City: Jacksonville State: Florida ZIP: 32223
 Telephone: 904 666-7038 FAX: () _____ e-mail: jfleet@fleetarchitectsplanners.net
- If the applicant is agent for the property owner*
 Name of Owner (titleholder): 200 North Orange Ave Holding LLC
 Mailing address: PO Box 40316
 City: Brooklyn State: New York ZIP: 11204
 Telephone: 904 760-6332 FAX: () _____ e-mail: bernies3000@yahoo.com

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

- Is there any additional contact for sale of, or options to purchase, the subject property?
 Yes No If yes, list names of all parties involved:

 If yes, is the contract/option contingent or absolute?
 Contingent Absolute

D. ATTACHMENTS

1. Statement of proposed change, including a map showing the proposed zoning change and zoning designations on surrounding properties
2. A current aerial map (Maybe obtained from the Clay County Property Appraiser.)
3. Plat of the property (Maybe obtained from the Clay County Property Appraiser.)
4. Legal description with tax parcel number.
5. Boundary survey
6. Warranty Deed or the other proof of ownership
7. Fee.
 - a. \$750 plus \$20 per acre over 5
 - b. All applications are subject 10% administrative fee and must pay the cost of postage, signs, advertisements and the fee for any outside consultants.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 7 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

[Signature]
 Signature of Applicant

Janis K. Fleet
 Typed or printed name and title of applicant

3/13/2021
 Date

State of FLORIDA County of DUVAL

 Signature of Co-applicant

 Typed or printed name of co-applicant

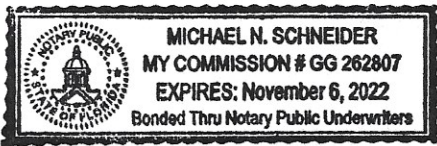
 Date

The foregoing application is acknowledged before me this 13th day of MARCH, 2021 by JANICE

FLEET, who is/are personally known to me, or ~~who has/have produced~~ as identification. in my PHYSICAL PRESENCE

NOTARY SEAL
[Signature]

Signature of Notary Public, State of FLORIDA

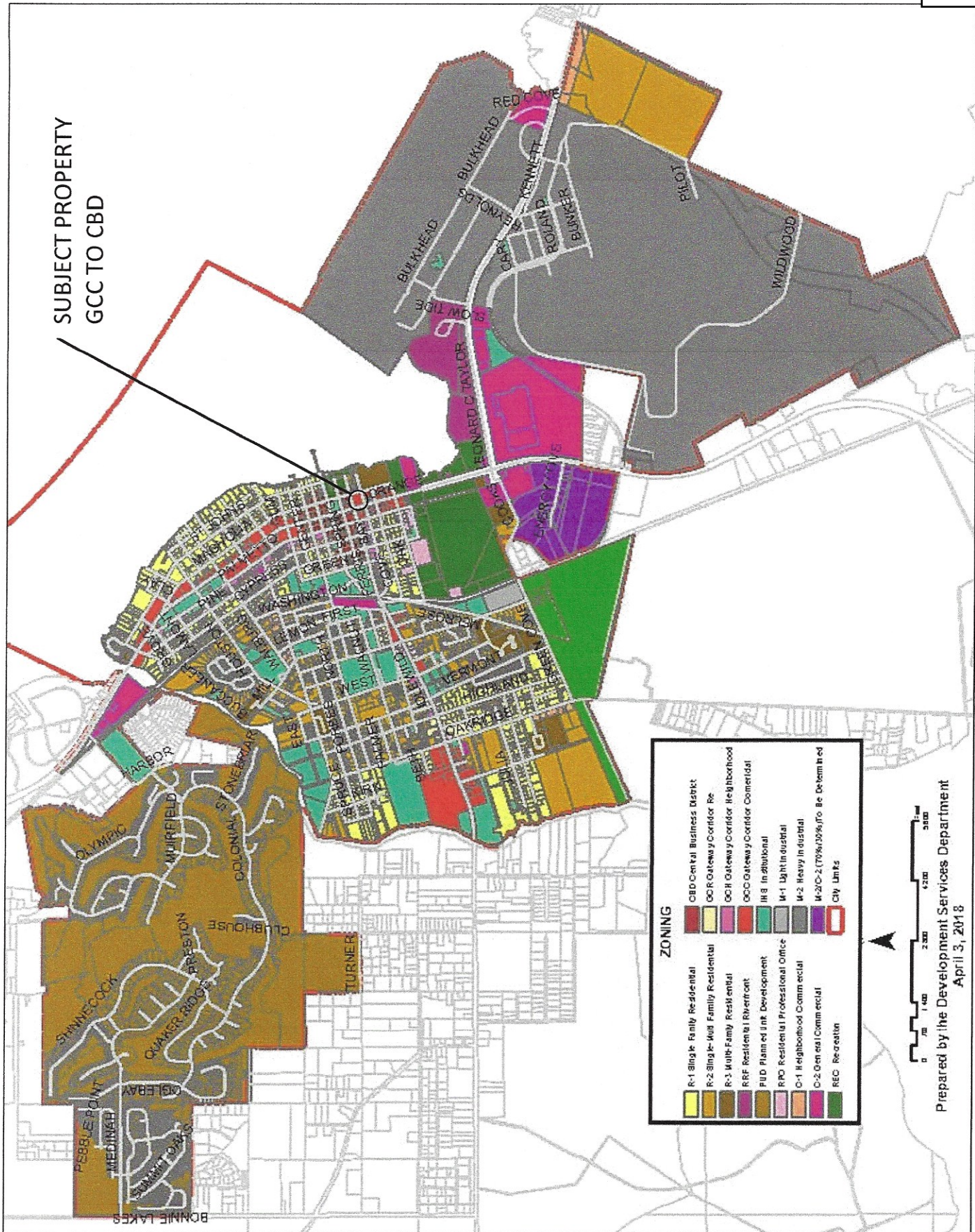


STATEMENT OF PROPOSED CHANGE

The parcel for the proposed rezoning has a designation of GCC – Gateway Corridor Commercial. The Central Business District (CBD) zoning district ends on Ferris Street, the north property line of the subject property. This property was originally developed in 1972. The property was sold to its current owner in December of 2020. The current property owner would like to redevelop the property with the design controls permitted in the CBD zoning category. The zoning of the property needs to be changed to allow redevelopment of the site consistent with the CBD zoning category.

The existing building on the property is built to the property line. One of the characteristics of properties in the CBD Zoning category is that structures were constructed to their property lines. The properties in the CBD Zoning category are allowed to be redeveloped to their property lines, with no setbacks. This allows the building facade to line the street instead of parking lots. The rezoning of the property to the CBD zoning category will allow the redevelopment of the parcel with a building line consistent with the Spring Park Coffee Center on the north side of Ferris Street and the established building line of the existing structure on the site. This rezoning of the property is being requested with a companion Small Scale Future Land Use Map (FLUM) amendment for the property.

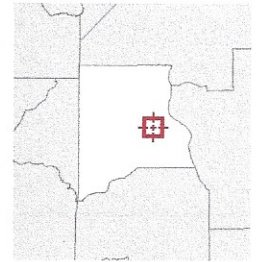
The project will redevelop an aged shopping center site. It will provide additional commercial development in Green Cove Springs. The parcel will be maintained under common ownership. The proposed development is compatible with the surrounding commercial development in the area and will promote a more walkable community. It will improve the property values in the South Orange Avenue/Ferris Street area of Green Cove Springs.



SUBJECT PROPERTY
GCC TO CBD



Overview



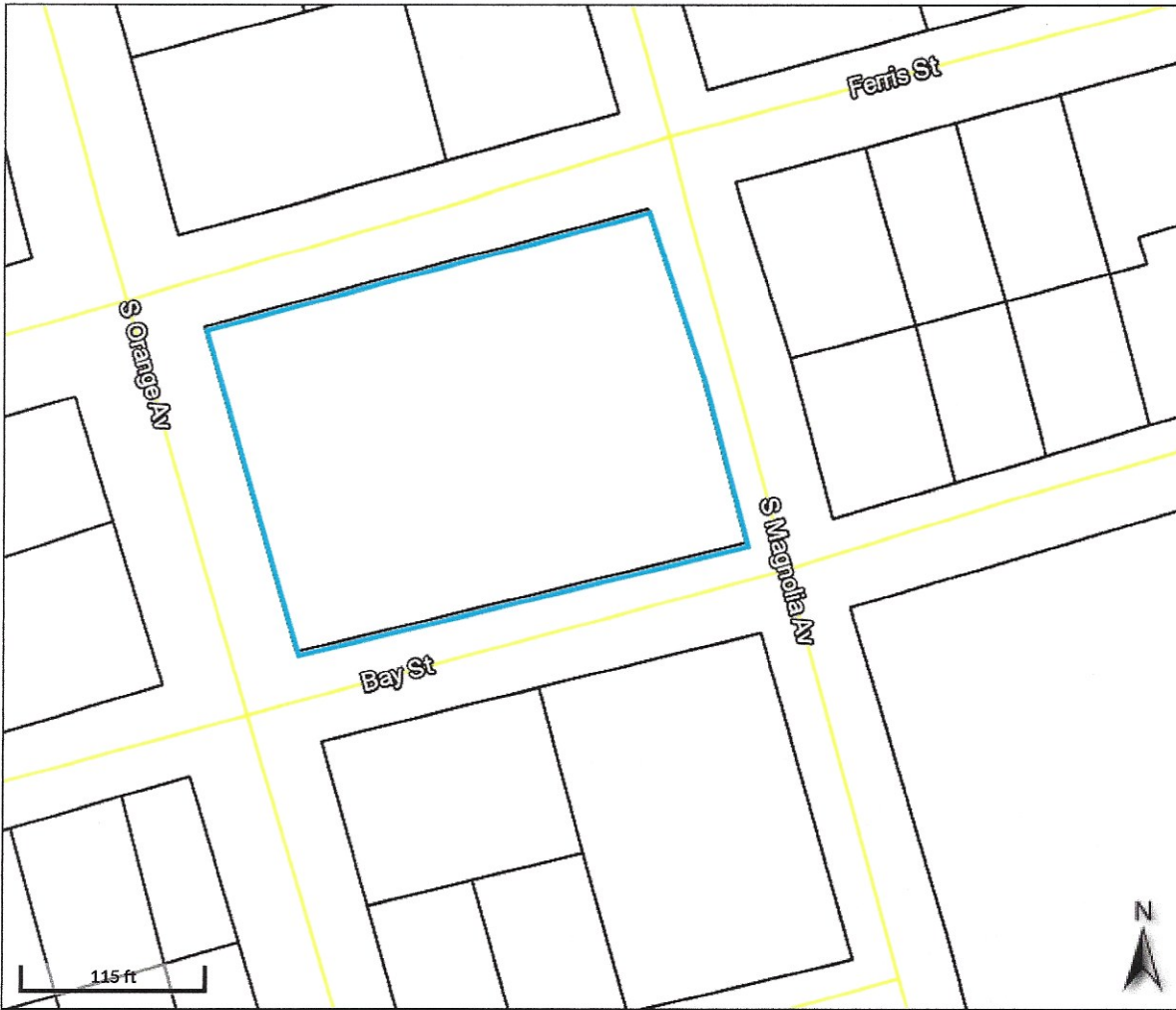
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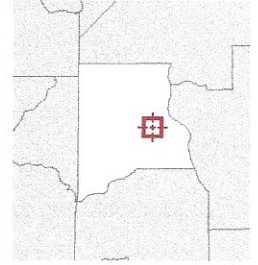
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Overview



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- Roads
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LEGAL DESCRIPTION

RE# 017301-000-00

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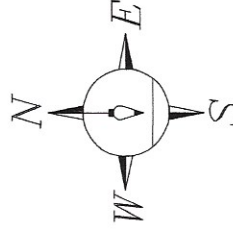
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Area = 1.26 ac.



GRAPHIC SCALE



FOR : BELCO ENTERPRISES

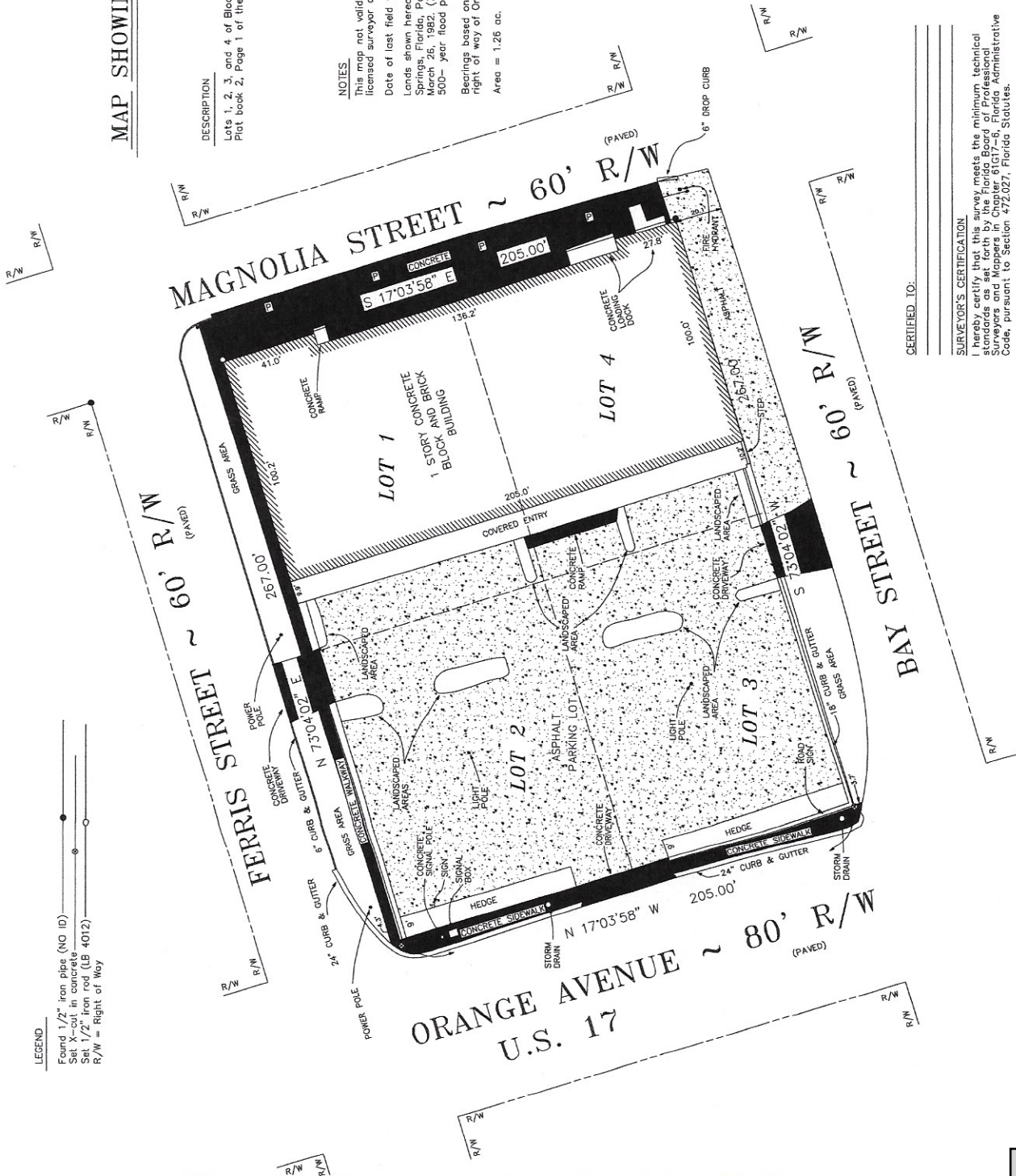
DRAWN BY : MTB CHECKED BY : PBW FIELD BOOK : 416

SCALE : 1" = 30' JOB NO. : 09-01-09 MAP NO. : 1B-2226

PATRICK B. WELCH & ASSOCIATES, INC.
LAND SURVEYING, PLANNING & DRAFTING SERVICE

P.O. BOX 809 870 WEST MACMAHON STREET
STARKE, FLORIDA 32091 (904) 964-8292

Item # 3.



CFN # 2021001335, OR BK: 4400 PG: 27, Pages1 / 3, Recorded 1/8/2021 10:10 AM, Doc: D
TARA S. GREEN Clerk Circuit Court, Clay County, FL Rec: \$27.00 Doc D: \$10,710.00
Deputy Clerk HAMPSHIRET

THIS INSTRUMENT PREPARED BY:

**Arnold Law
Diane Saxon
718 N. Orange Ave
Green Cove Springs, FL 32043**

RECORD AND RETURN TO:

Grantee

RE PARCEL ID #: 380626-017301-000-00
CONTRACT SALES PRICE: \$1,530,000.00

SPECIAL WARRANTY DEED

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WITNESSETH: That Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell unto Grantee, all that certain land situate in **Clay County, Florida**, to wit:

Lots 1, 2, 3 and 4, Block 17, of GREEN COVE SPRINGS, according to the Plat thereof as recorded in Plat Book 2, page 1, of the Public Records Clay County, Florida.

TOGETHER with all the tenenments, hereditaments and appurtenances thereto belonging or in anywise appertaining.

SUBJECT to the matters set forth on Exhibit "A" attached hereto and made a part hereof (collectively, the "Permitted Exceptions"), provided this shall not serve to reimpose any of the same.

GRANTOR WILL WARRANT and forever defend the right and title to the above described real property unto the Grantee against the claims of all person(s) claiming by, through or under Grantor, subject to the Permitted Exceptions. (Wherever used herein the terms "Grantor" and "Grantee" included all the parties to this instrument and the heirs, legal representatives and assigns of individuals and the successors and assigns of corporation.)

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Marie Alexander
Marie Alexander
Witness

Franklin E Chaney
By: Franklin E. Chaney, Trustee
of The Franklin E. Chaney Living Trust
Dated December 22, 2009

Robin Estes
Robin Estes
Witness

STATE OF FLORIDA
COUNTY OF CLAY

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 30th day of December, 2020 by Franklin E Chaney, Trustee of The Franklin E. Chaney Living Trust dated December 22, 2009. He/She/They is/are _____ personally known to me or have produced FLDL as identification.

Rose M. Alexander
Notary



My Commission expires: _____

Documentary Stamps in the amount of \$10,710.00 have been paid.

EXHIBIT "A"

PERMITTED ENCUMBRANCES

1. The lien of taxes and assessments for the current year and subsequent years;
2. Matters that would be shown by an accurate survey and inspection of the property;
3. All covenant, restrictions, conditions, easements, reservations, rights-of-way, and other matters of records, to the extent valid, subsisting and enforceable;
4. Zoning requirements, statutes, rules, orders, restrictions, regulations and ordinances of governmental agencies or their instrumentalities relating to the property, the buildings located thereon, their construction and uses, in force on the date hereof (if any such exist); and
5. Any licenses, permits, authorizations or similar items (if any) in connection with the conduct of any activity upon the property.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
200 NORTH ORANGE AVE HOLDING LLC

Filing Information

Document Number L20000343248
FEI/EIN Number NONE
Date Filed 11/09/2020
State FL
Status ACTIVE

Principal Address

211457 STREET
BROOKLYN, NY 11204

Mailing Address

211457 STREET
BROOKLYN, NY 11204

Registered Agent Name & Address

VCORP SERVICES, LLC
5011 SOUTH STATE ROAD 7, SUITE 106
DAVIE, FL 33314

Authorized Person(s) Detail

Name & Address

Title AMBR

NIEDERMAN, BERNARD
POB 40316
BROOKLYN, NY 11204

Annual Reports

No Annual Reports Filed

Document Images

[11/10/2020 -- Florida Limited Liability](#) [View image in PDF format](#)



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning and Zoning Commission **MEETING DATE:** April 27, 2021
FROM: Michael Daniels, AICP, Planning & Zoning Director
SUBJECT: Review of an Annexation request for the Ayrshire Development for the Gustafson's Cattle, Inc. approximately 560.52 acres on CR 15 A, 016515-000-00

PROPERTY DESCRIPTION

APPLICANT: Ellen Avery-Smith, Esq. of Rogers **OWNER:** Gustafson's Cattle, Inc.
 Tower, PA

PROPERTY LOCATION: CR 15 A

PARCEL NUMBER: 016515-000-00

FILE NUMBER: 202001172

CURRENT ZONING: Agriculture (County) / Industrial Select (County)

FUTURE LAND USE DESIGNATION: Rural Fringe (County) / Industrial (County)

SURROUNDING LAND USE

NORTH: **FLU:** Recreation
Z: Recreation
Use: Undeveloped

SOUTH: **FLU:** Industrial (County)
Z: Heavy Industrial (County)
Use: Industrial / Undeveloped

EAST: **FLU:** Industrial (County)
Z: Heavy Industrial (County)
Use: Industrial

WEST: **FLU:** Rural
 Residential/Commercial/Agriculture
 (County)
Z: Agricultural Residential/Commercial
 (County)
Use: Single Family Homes, Commercial,
 Undeveloped

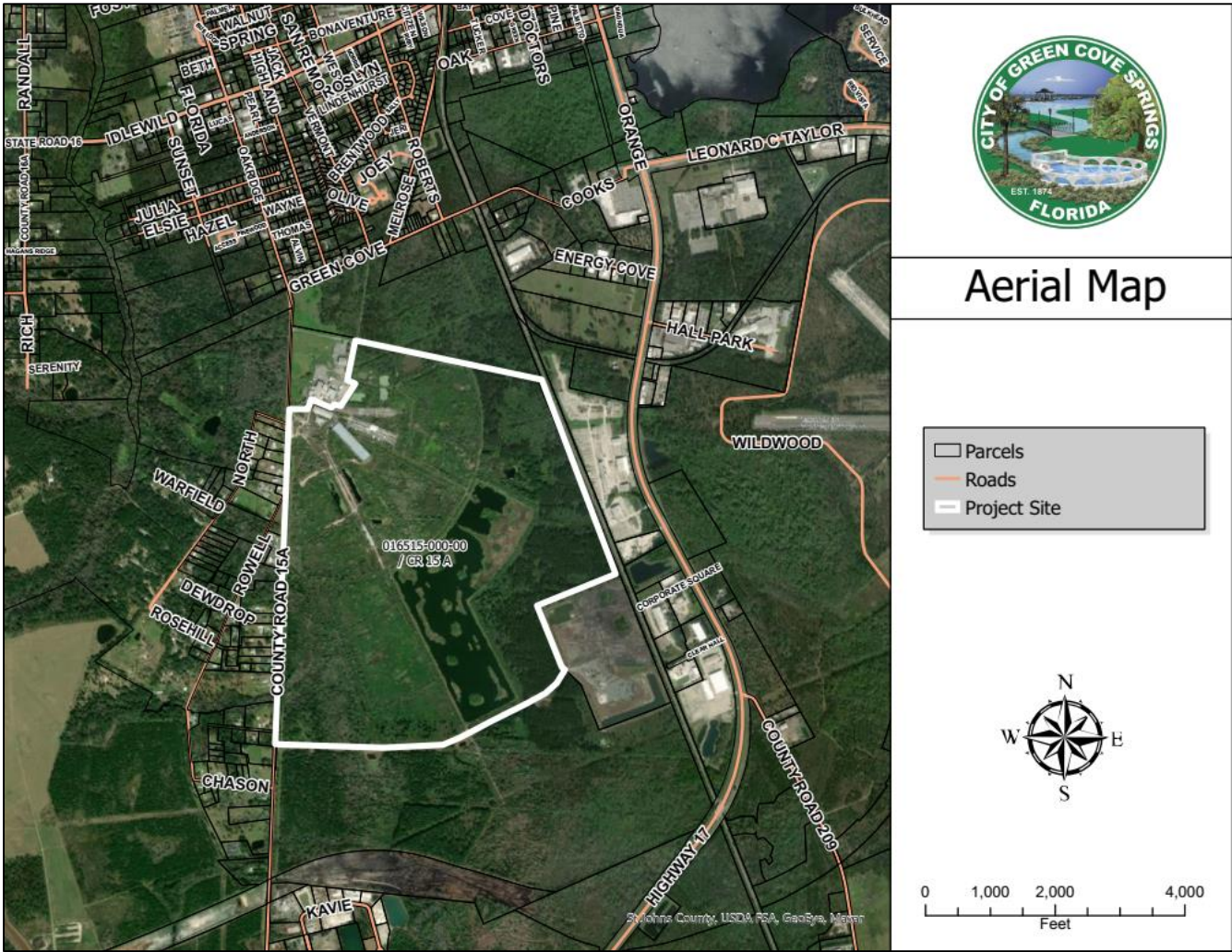
BACKGROUND

DEVELOPMENT DESCRIPTION: The applicant, Ellen Avery Smith Esq, of Rogers Tower PA, has submitted an annexation request for 560.52 acres on behalf of her client, DR Horton, as part of their contractual agreement to purchase the property from the current property owner Gustafson's Cattle Inc.

The property is located on the east side of CR 15A, west of the railroad tracks, south of Green Cove Avenue and north of Jersey Avenue.

The site is located within the City’s Electric Service Boundary and will be served by the City’s electric and sanitation departments and by the Clay County Utility Authority (CCUA) for water and sewer.

The property is a portion of the land that was targeted by the City for Annexation as part of the 2016 Annexation Report that was reviewed by the Florida Department of Economic Opportunity and approved by the City Council.



Statutory Requirements for Voluntary Annexation as set forth in State Statute FS 171.044

1) The owner or owners of real property in an unincorporated area of a county which is contiguous to a municipality and reasonably compact may petition the governing body of said municipality that said property be annexed to the municipality.

The property owner, Gustafson’s Cattle, Inc. submitted a revised annexation petition on March 23, 2021 for the subject property.

(2) Upon determination by the governing body of the municipality that the petition bears the signatures of all owners of property in the area proposed to be annexed, the governing body may, at any regular meeting, adopt a nonemergency ordinance to annex said property and redefine the boundary lines of the municipality to include said property. Said ordinance shall be passed after notice of the annexation has been published at least once each week for 2 consecutive weeks in some newspaper in such city or town.

Notice to Clay Today has been provided on April 22 and shall be provided on April 29th.

In addition (not a statutory or city requirement), notice has been provided to all property owners within 300' of the subject property.

(3) An ordinance adopted under this section shall be filed with the clerk of the circuit court and the chief administrative officer of the county in which the municipality is located and with the Department of State within 7 days after the adoption of such ordinance. The ordinance must include a map which clearly shows the annexed area and a complete legal description of that area by metes and bounds.

(4) The method of annexation provided by this section shall be supplemental to any other procedure provided by general or special law, except that this section shall not apply to municipalities in counties with charters which provide for an exclusive method of municipal annexation.

Pursuant to research by our legal consultant citing a 1978 Florida Attorney General Report (78-121) and additional legal case law research, in addition to the requirements set forth in FS 171.044, voluntary annexations are required to be contiguous and reasonably compact as defined by statute which are provided below:

“Contiguous” means that a substantial part of a boundary of the territory sought to be annexed by a municipality is coterminous with a part of the boundary of the municipality. The separation of the territory sought to be annexed from the annexing municipality by a publicly owned county park; a right-of-way for a highway, road, railroad, canal, or utility; or a body of water, watercourse, or other minor geographical division of a similar nature, running parallel with and between the territory sought to be annexed and the annexing municipality, shall not prevent annexation under this act, provided the presence of such a division does not, as a practical matter, prevent the territory sought to be annexed and the annexing municipality from becoming a unified whole with respect to municipal services or prevent their inhabitants from fully associating and trading with each other, socially and economically. However, nothing herein shall be construed to allow local rights-of-way, utility easements, railroad rights-of-way, or like entities to be annexed in a corridor fashion to gain contiguity; and when any provision or provisions of special law or laws prohibit the annexation of territory that is separated from the annexing municipality by a body of water or watercourse, then that law shall prevent annexation under this act.

Approximately 80% of the northern boundary of the property that is adjacent to the City is proposed to be annexed.

“Compactness” means concentration of a piece of property in a single area and precludes any action which would create enclaves, pockets, or finger areas in serpentine patterns. Any annexation proceeding in any county in the state shall be designed in such a manner as to ensure that the area will be reasonably compact.

Annexation of this property does not create an enclave, pockets or finger areas in serpentine patterns.

(5) Land shall not be annexed through voluntary annexation when such annexation results in the creation of enclaves.

Pursuant to FS 171.031:

- (13) “Enclave” means:
 - (a) Any unincorporated improved or developed area that is enclosed within and bounded on all sides by a single municipality; or
 - (b) Any unincorporated improved or developed area that is enclosed within and bounded by a single municipality and a natural or manmade obstacle that allows the passage of vehicular traffic

The property is adjacent to the City to the north for approximately 3,000 feet and does not surround adjacent unincorporated property within the City limits.

(6) Not fewer than 10 days prior to publishing or posting the ordinance notice required under subsection (2), the governing body of the municipality must provide a copy of the notice, via certified mail, to the board of the county commissioners of the county wherein the municipality is located. The notice provision provided in this subsection may be the basis for a cause of action invalidating the annexation.

A letter of the ordinance notice was provided to the Clay County Board of County Commissioners

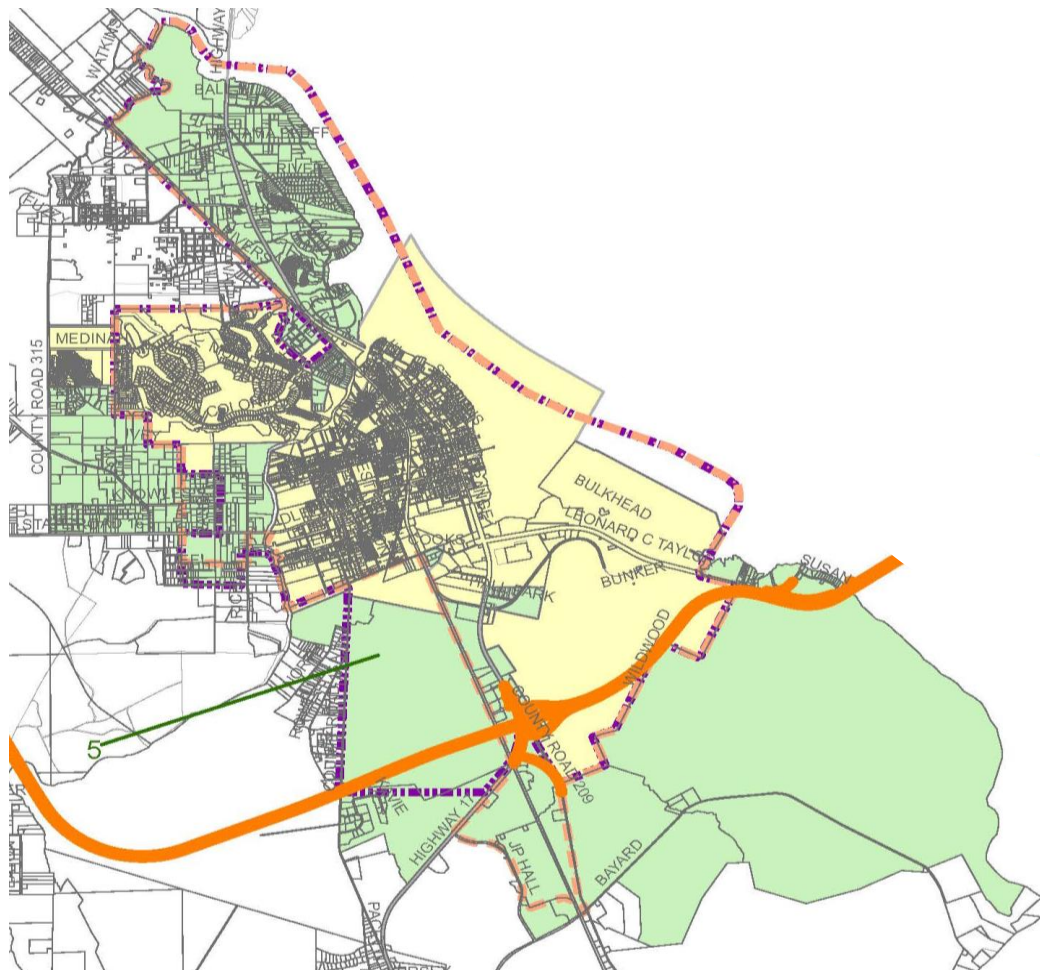
STAFF RECOMMENDATION

Staff recommends approval of the proposed annexation.

CITY OF GREEN COVE SPRINGS



ANNEXATION REPORT



January 10, 2017

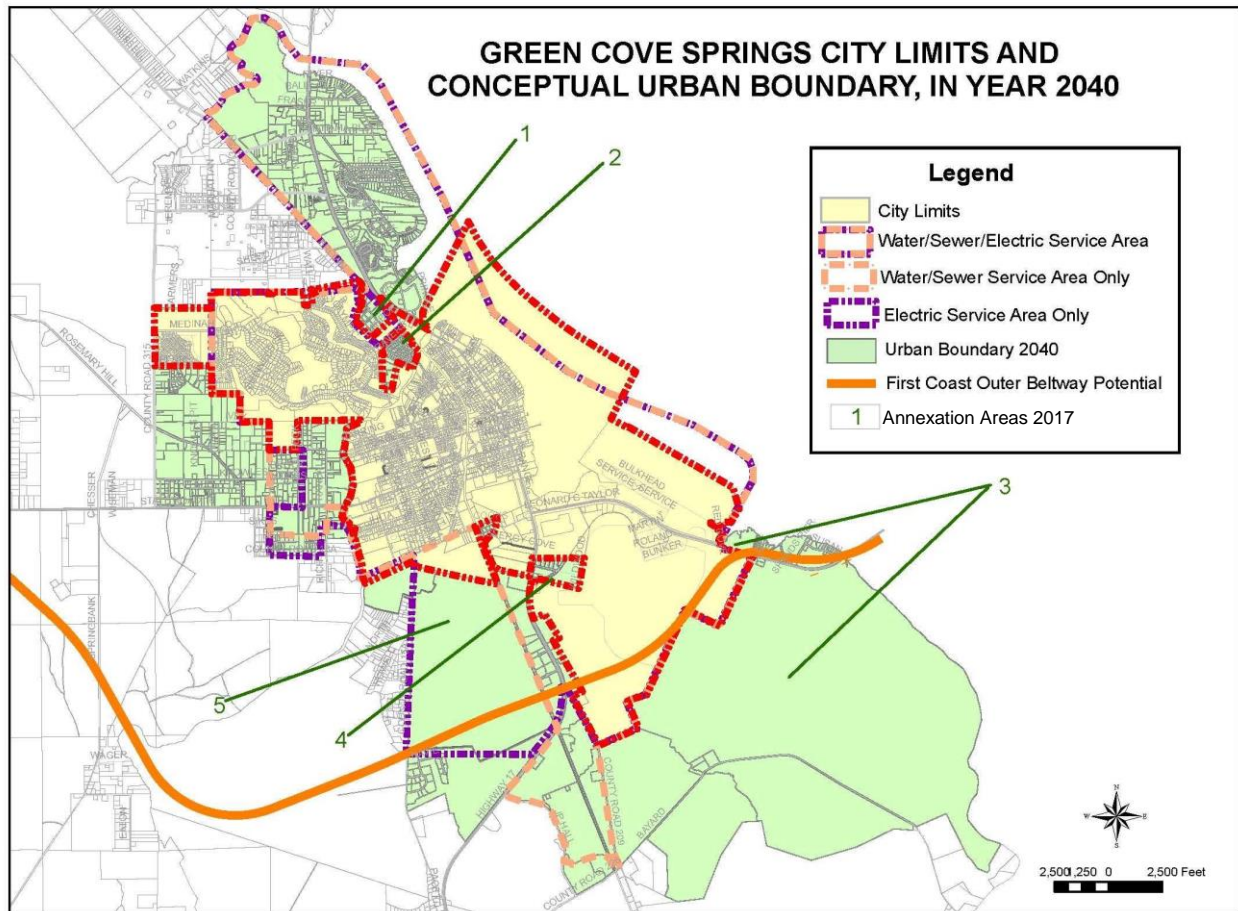
ANNEXATION REPORT CITY OF GREEN COVE SPRINGS

The City of Green Cove Springs is proposing to annex land that is located south, north, and east of the existing corporate limits of the City. This annexation would eliminate some existing enclaves that were created by previous annexation and are logical extensions of the existing city limits. The majority of the lands proposed for annexation are included in the City's water and sewer service area. The area to be annexed meets the criteria of Chapter 171.043, Florida Statutes. The land is contiguous to the existing corporate limits and most of the land to be annexed is developed for urban purposes as defined by Chapter 171.043, Florida Statutes.

Exhibit #1 provides a fiscal impact statement on the proposed annexation areas.

CHARACTER OF THE LAND TO BE ANNEXED

As shown on the maps in this report, the land proposed for annexation is contiguous to the existing City limits. Some of the parcels are surrounded on all sides by land in the City limits of Green Cove Springs. It incorporates land into the City of Green Cove Springs that is, in fact, nearly an enclave. The annexation area is a compact area for extension of the existing City boundaries. The proposed annexed property is located in Clay County and is not a part of any other incorporated municipality. The areas proposed for annexation are identified in this report and are indicated on the following map.



GENERALIZED LAND USE OF THE ANNEXED AREA

The proposed annexation area is a combination of residential, commercial, industrial, and vacant land uses. The predominant land uses in the proposed annexation area are industrial and commercial. The largest parcel in the proposed annexation area contains a very large, currently vacant industrial plant. Below is a description of each of the areas.

1. Harbor Road Industrial Park – This area contains approximately 44 acres of property in 22 parcels located north of Harbor Road, off of Enterprise Way and Virgils Way. The Harbor Road Industrial Park is located across the street from the offices of the City Electric Department and the Harbor Road Water and Wastewater Treatment Plant. The land is developed as an industrial park, with a variety of manufacturing and warehouse facilities.

This annexation eliminates an existing enclave and is in the City's water/wastewater service area. There are 12 existing businesses in the industrial park. The City currently provides water and sewer to all businesses. Roads are paved public roads, but there is a private drainage system that serves the industrial park. If the area was annexed into the City, each of the 22 parcels would be charged the stormwater assessment fee. Each business would need to pay for a business tax license. The City would lose approximately \$6,859 in utility taxes, but would receive ad valorem taxes of \$24,026 for the properties and a franchise fee for the electric service from Clay Electric. See Exhibit #1 for details.

If this area were to be annexed along with the Governors Creek/Travers Road/Gator Bay Road/Harbor Road, then the responsibility for Harbor Road would shift from the County to the City. Likewise, under City oversight, a sidewalk should then be built to connect this area to a City park.



2. Governors Creek/Travers Road/Gator Bay Road/Harbor Road – This area is a 62-lot single family dwelling unit subdivision on Governors Creek Drive/Travers Road/Gator Bay Road and another 10 lots south of the subdivision located off of Harbor Road. The 10 lots off of Harbor Road are served by Clay Electric and use wells and septic tanks for water and wastewater service. This annexation eliminates an existing enclave. The area is in the City’s water/wastewater and electric service area. Currently, the City Utility Department provides water and electric service to the majority of the homes in the subdivision. The homes are on septic tanks and no extension of the wastewater system would be required, until such time as the septic tanks begin to fail. At that time, since the area is in the City’s utility service area, whether in the city limits or not, the City would need to extend the wastewater lines to serve the subdivision. Governors Creek Drive, Travers Road, and Gator Bay Road are all paved roads with drainage structures. A portion of Harbor Road is unpaved, which after annexation should receive consideration for paved roadway.

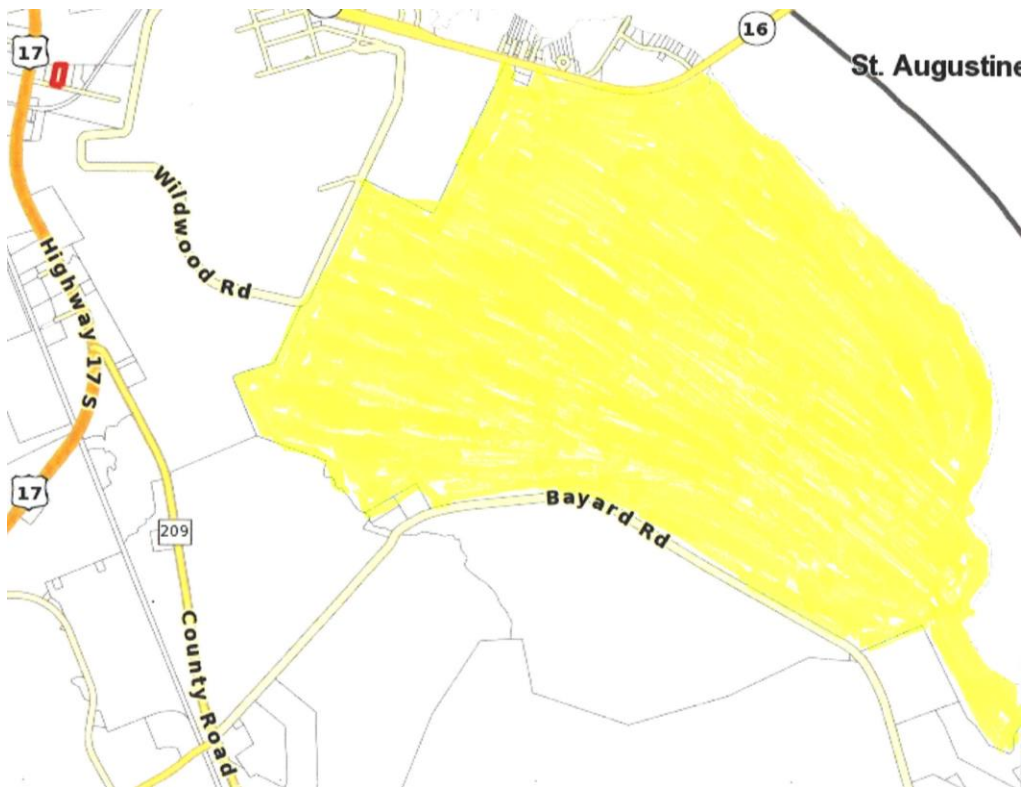
If annexed into the City, each parcel would be subject to the stormwater assessment fee. In reviewing the utility bills and ad valorem taxes for the area, the City would lose approximately \$100 – \$150 annually in utility taxes/fees per dwelling unit and will receive approximately \$350 per homesteaded dwelling unit. See Exhibit #1 for details.

If this area were to be annexed along with Harbor Road Industrial Park, then the responsibility would shift from the County to the City. Likewise, under City oversight, a sidewalk should then be built to connect this area to a City park.



3. S.R. 16 East and Bayard Conservation Area – This area is located off of S. R.16 East, west of the Reynolds Park. It provides a logical extension of the City limits to the St. Johns River. The Bayard Conservation area located South of S.R. 16 and east of Reynolds Park is owned by the St. Johns River Water Management District (SJRWMD). Conservation/Recreational are the only uses permitted and allowed at the Bayard Conservation area. Annexation of the Bayard Conservation area will allow for connectivity with trails being constructed and planned within the city limits. The Bayard Conservation area contains 10,371 acres. It is estimated between 1,000 to 1,500 acres would be annexed into the City. The exact acreage to be annexed will be determined by further discussions with the SJRWMD. All roads and stormwater system within the conservation area are private. The area is outside of the City’s water, sewer, electric service area and no expansion of facilities would be required.

There is no fiscal impact since no services are provided and no ad-valorem taxes would be generated.



4. Hall Park Road – This is approximately 52 acres of developed industrial properties in 9 individual parcels located off U.S. 17. The majority of the property is owned by Vac-Con, Inc. or Tamko Roofing Products. The parcels are in the City’s water and wastewater service area. The City provides electric service to parcels north of Hall Park Road. Parcels south of Hall Park Road are served by Clay Electric. Annexation of these properties eliminates an existing enclave in the City. Since the parcels served by the City are developed, no extension of the water, wastewater, or electric would be required. The public streets are paved with drainage structures.

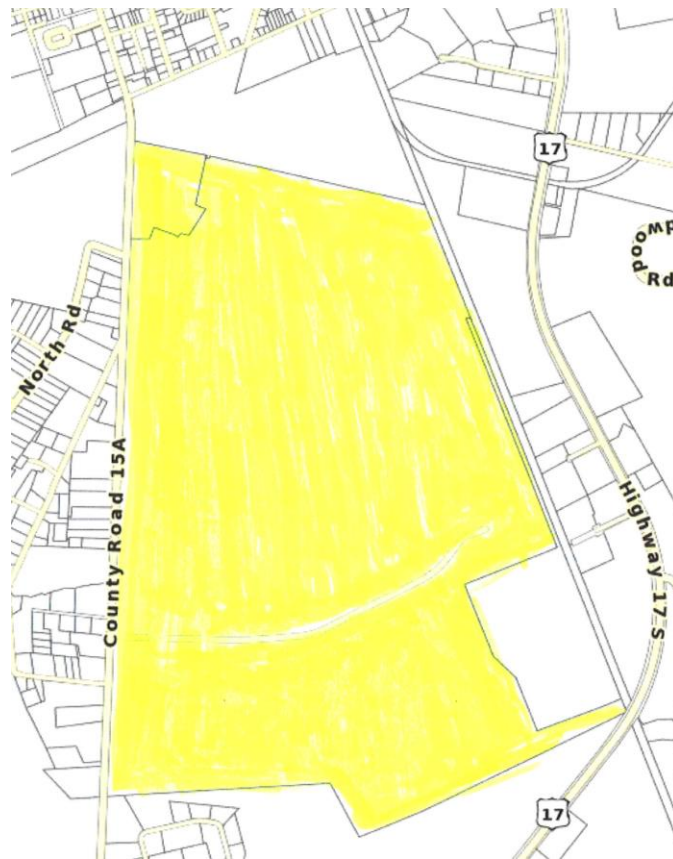
If the area was annexed into the City, each of the 9 parcels would be charged the stormwater assessment fee. Each business would need to pay for a business tax license. The City would lose approximately \$15,337 in utility taxes, but would receive ad valorem taxes of \$12,184 for the properties and a franchise fee for the electric service from Clay Electric. The ad valorem taxes will increase with the recent expansion of Vac-Con. See Exhibit #1 for details.



- 5. Gustafson Property – This area is the former Gustafson Dairy and contains 1,018 acres in 2 parcels. This annexation will allow the City to have land use control over the redevelopment of the former Gustafson Dairy. The property is in the City’s electric service area.

The northwest corner of the property was purchased by the Green Cove, LLC in 2016 and the remaining portion of the property is owned by the Gustafson family. At the 2016 assessment value, the City would receive approximately \$3,644 in ad valorem taxes for the property.

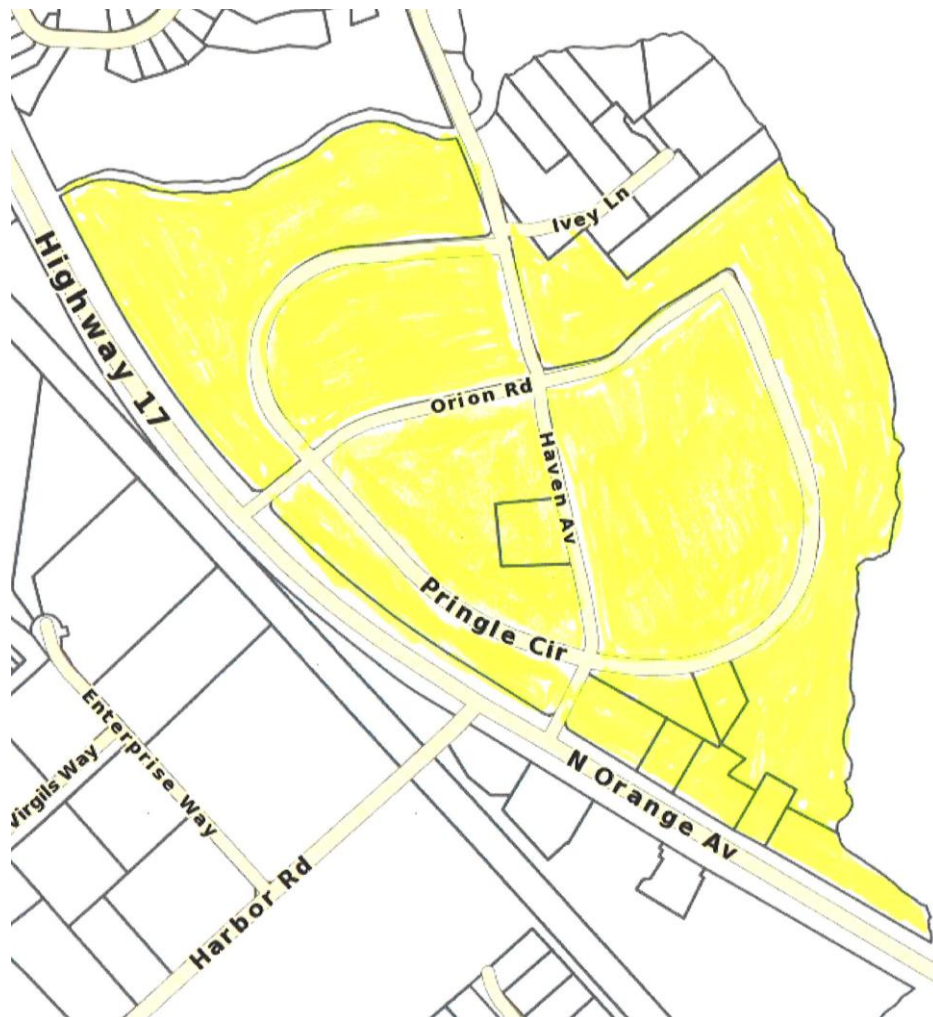
The City needs to monitor the electric load. If redevelopment occurs, it could have a significant impact on the electric load.



- 6. St. Johns Landing – This area includes 7 parcels with approximately 80 acres of land, of which 75 acres is in the St. Johns Landing apartment complex. All of this area has electric service provided by the City. The City also provides sewer to St. Johns Landing. Annexation of this area would expand the City limits to both sides of U.S. 17. Currently only the west of U.S. 17 is in the city limits. The owners of St. Johns Landing plan to redevelop the apartment complex. Expansion of the water and sewer service to the area would be a component of the redevelopment of St. Johns Landings parcel and would be paid by the development. The remaining 6 parcels are served by well and septic tanks for water and sewer. Lines will be expanded to serve these development, when the redevelopment of St. Johns Landing occurs.

Based on current utility usage and tax assessments, we would see a reduction in the utility taxes of \$28,242, if these properties are annexed into the City, and would receive an additional \$37,068 in ad valorem taxes. These numbers would increase with the redevelopment of St. Johns Landing. The businesses along U.S. 17 would need to obtain a business tax license. See Exhibit 1 for details.

This annexation would require additional law enforcement officers and should be part of the discussions when redevelopment occurs.



PROVISION OF URBAN SERVICES FOR ANNEXED AREA

The City of Green Cove Springs will provide the annexed area with the same level of services it currently provides to areas within the City limits. The following is the plan for the urban services expansion.

Police Protection

The City of Green Cove Springs Police Department provides police protection to residences and businesses in Green Cove Springs. The Police Department will provide the same level of service to any businesses or residences existing or developed in the proposed annexation area. The Police Department must currently travel through the proposed annexed area to serve properties within the existing city limits. The cost for the provision of police service to the annexed area will be funded by the General Fund of the City. The police protection provided to the annexed area will be the same as the level of service provided to the businesses and residents within the existing limits.

Fire and Rescue Service

The Clay County Public Safety Department provides fire protection and rescue service to the residents and businesses of Green Cove Springs, and to the surrounding areas in the county. The provision of fire and rescue service inside the City limits occurs in accordance with an Interlocal agreement between Clay County and the City which began in 2002. This agreement is renewed annually. The provision of fire and rescue services in the annexed area will be provided in accordance with the Interlocal Agreement. These services are paid for through ad valorem taxes.

Solid Waste Collection

The City of Green Cove Springs provides solid waste collection to single family residences within the city limits. Commercial customer's contract with City approved private contractor for solid waste collection along with a Franchise Fee. All residential customers are charged a solid waste collection fee. All development within the proposed annexed area will be charged the same rate as similar customers in the existing city limits and will be provided the same level of service.

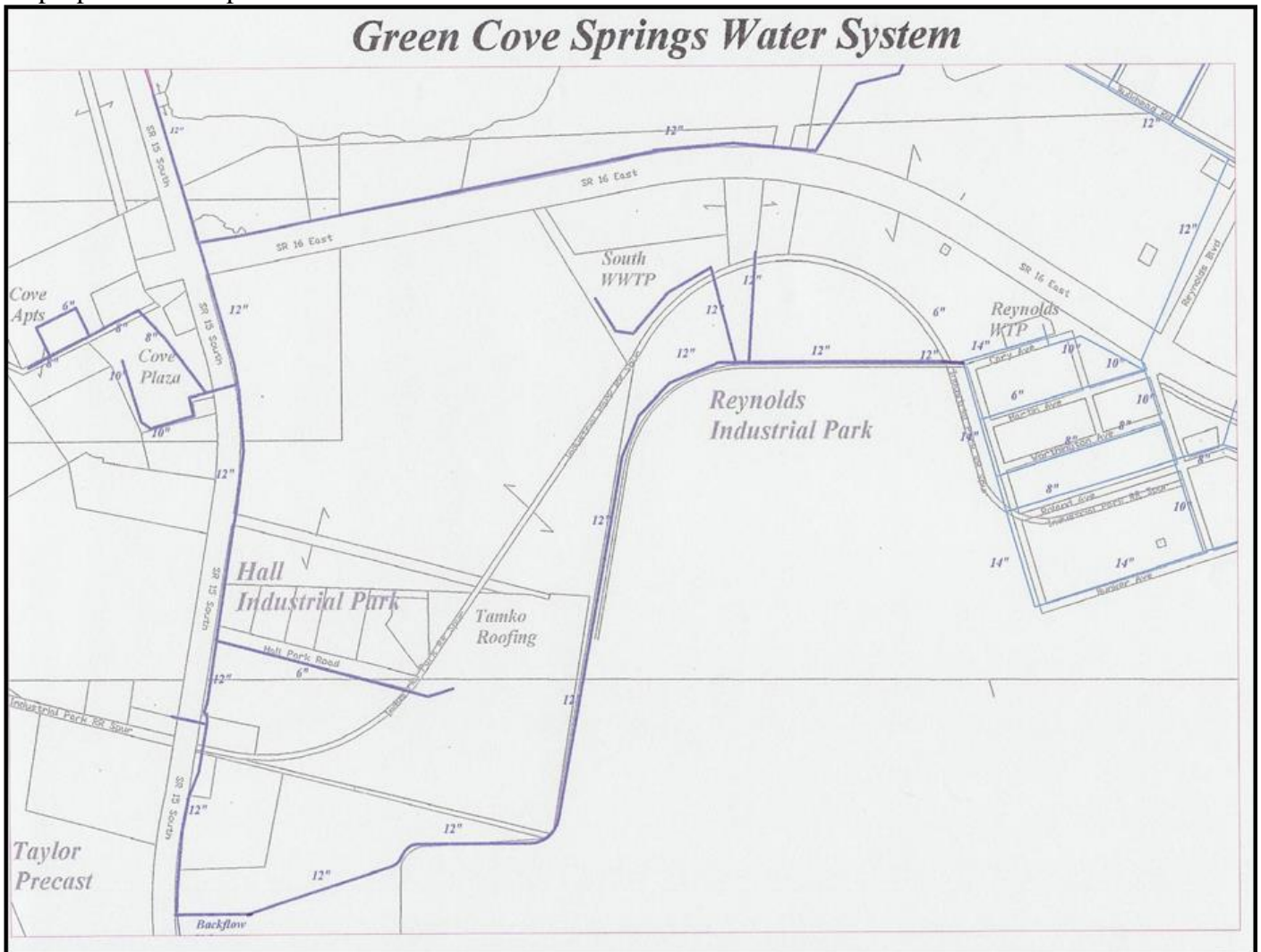
Streets and Drainage

The Florida Department of Transportation is responsible for the maintenance of the road and drainage for State Road 16 East and U. S. Highway 17. The City is responsible for drainage and maintenance of public local roads within Green Cove Springs. Any new roads in the annexed area will be developed and constructed by the builder and dedicated to the City. After annexation, the City will be responsible for the roadway maintenance and drainage for all public streets within the annexed area. The funds required for the maintenance of streets and drainage in the annexed area will be funded through the General Fund.

Water and Sewer Service

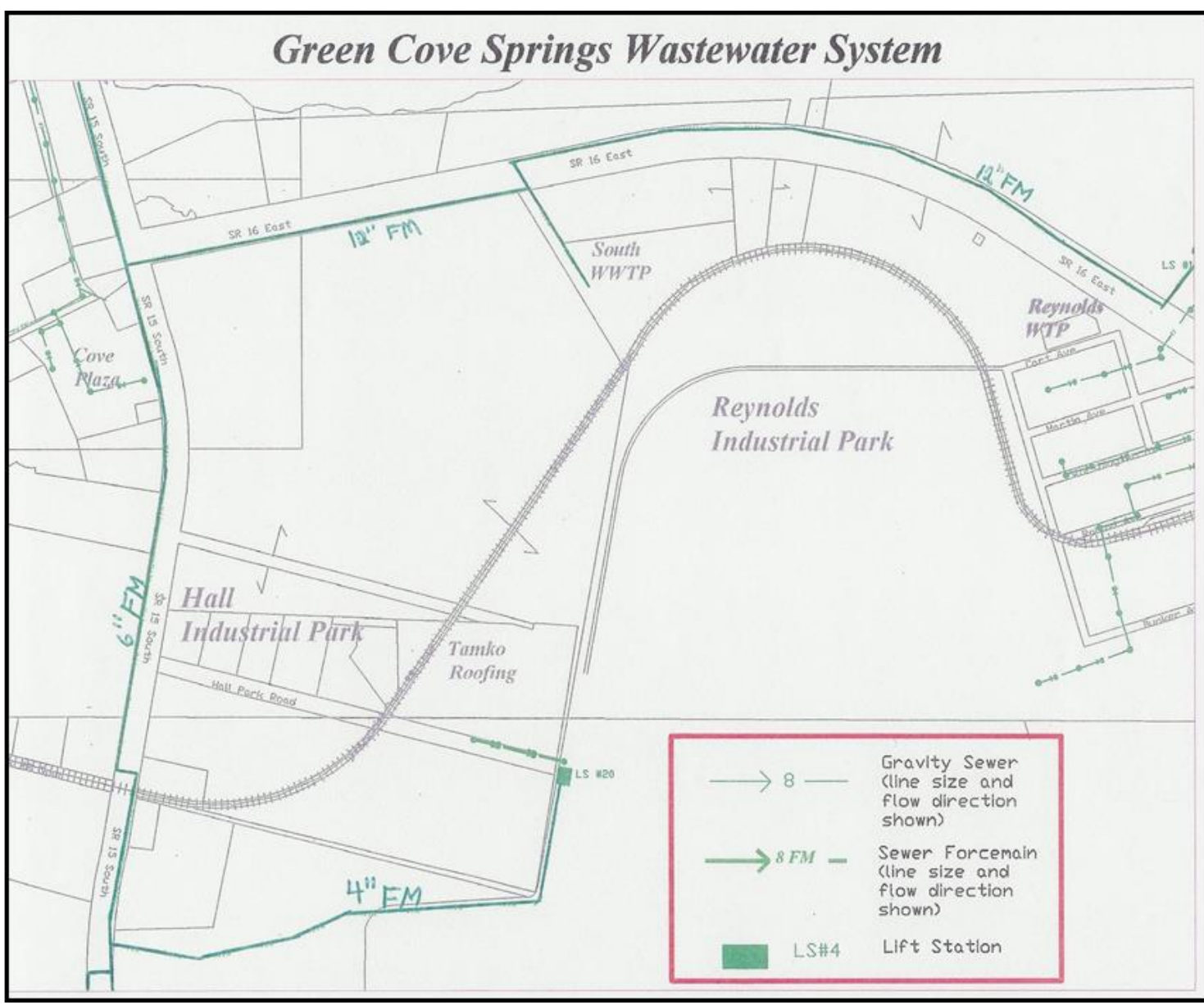
The entire area proposed for annexation is in the City of Green Cove Springs water and sewer service area, except for the former Gustafson property. The City of Green Cove Springs currently provides water and sewer services to the majority of the areas proposed for annexation. The City of Green Cove Springs has established utility service areas through interlocal agreements. The water and sewer service area was established by an interlocal agreement with the Clay County Utility Authority (CCUA) in 1998. The service area extends from Black Creek to County Road 209 South, south of Green Cove Springs. The service area includes property that is located within the city limits and property that is within the unincorporated Clay County. All customers in the water and sewer service area, which are not within the city limits, must pay a 25% utility surcharge for service. This charge would be eliminated when the property is annexed.

The City of Green Cove Springs has a water treatment plant south of SR 16 East. A twelve-inch trunk line extends from the water treatment plant through Reynolds Industrial Park to C. R. 209 South and north to SR 16 East through the Hall Industrial Park. Fourteen-inch water lines exist adjacent to the area along Industrial Park Road and Bunker Avenue. Ten-inch water lines border Cary, Martin, Worthington, Roland and Bunker Avenues. Six and eight-inch water lines serve these individual streets. This potable water treatment plant currently has capacity available for additional proposed development in the annexation area.



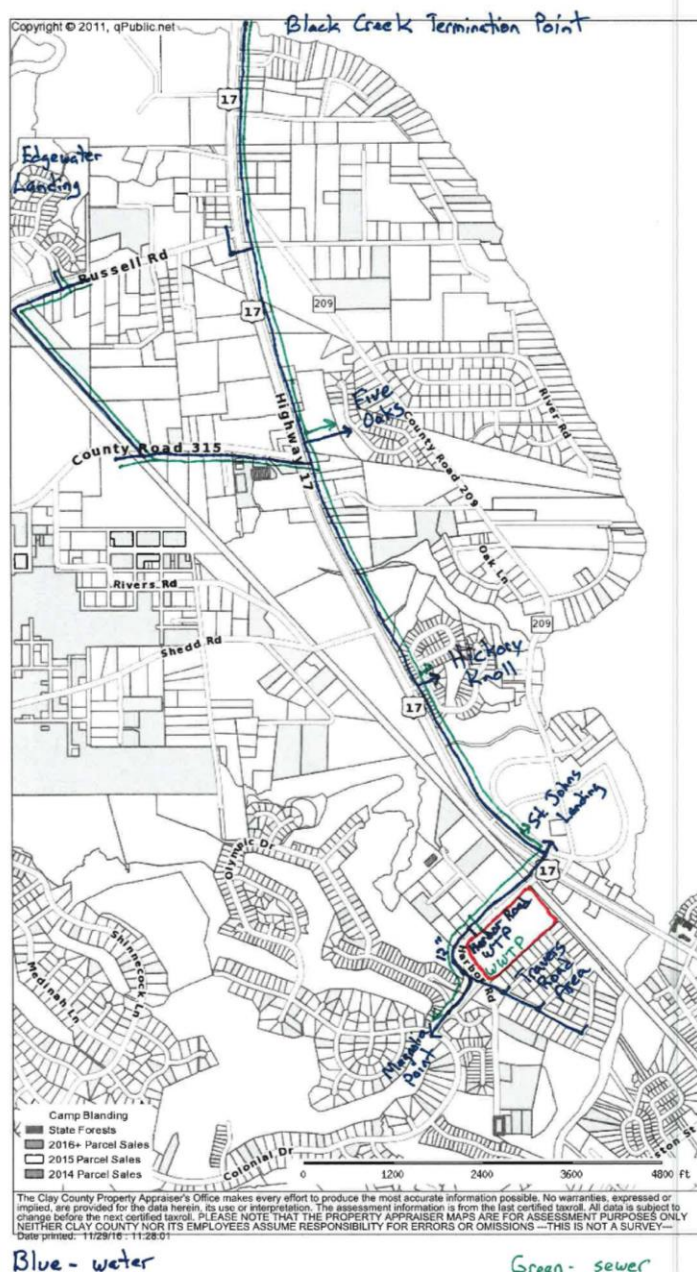
The water lines in the area can be extended to serve the vacant parcels in the area proposed for annexation. Extension of the water lines to any undeveloped parcels will be paid by the developer, as undeveloped land is developed. However, no extension of major trunk lines is necessary at this time to serve existing development.

The City of Green Cove Springs South waste water treatment plant (WWTP) is located between SR 16 and Industrial Park Road South. The South WWTP also has capacity available for additional proposed development. There is a twelve-inch force main that runs from east to west from SR 16 East at Cary Avenue to U.S. 17. A six-inch force main runs north and south along U.S. 17. A four-inch force main borders the area east of U.S. 17 and south of the Industrial Park RR spur around to Hall Park Road. Lift Station #32 is located at the east end of Hall Park Road. Eight-inch gravity sewer lines serve the area east of the wastewater treatment plant for Cary and Worthington Avenues.



The City of Green Cove Springs also has the Harbor Road Water Treatment Plant (WTP), which serves the area north of the city limits and the Magnolia Point subdivision. There is a twelve-inch water main running along U.S. 17, north to the Black Creek Bridge, an eight-inch main, west on CR 315 to the railroad tracks, and a ten-inch main along the tracks to the Edgewater Landing subdivision. Plans are currently underway to complete a “loop” from Edgewater Landing, along C. R 209, to the U. S 17, twelve-inch main.

There is a twelve-inch main leading into Magnolia Point with an eight-inch main serving the majority of the community. A six-inch main serves Governors Creek Drive/Travers Road/Gator Bay area. The St. Johns Landing development water system and Harbor Road WTP are interconnected. The twelve-inch main along U.S. 17, north of city limits, also serves subdivisions to the east of U.S. 17.



Electric Service

Except for several small parcels located on State Road 16, the City of Green Cove Springs currently provides electric service to all of the area proposed for annexation. The entire area proposed for annexation is in the City of Green Cove Springs electric service area which has been established by the Territorial Agreement with the Clay Electric Cooperative, Inc. The service area is basically the same area as the water and sewer service area. This service area also extends from Black Creek to C.R. 209 South, south of Green Cove Springs. The service area includes property that is located within the city limits and property that is within the unincorporated Clay County.

Other Considerations

Annexation will allow the City to have land use control of the annexed areas. All fees for land development will be paid to the City. All building permits will be issued by the City, increasing the revenues for the Building Fund. It will also allow for “one stop permitting” for development in the City’s utility service area. Code enforcement would be the City’s responsibility and any potential code enforcement fines would be paid to the City.

Gas tax, sales tax, and revenue sharing funds are based on population. As the population increases, the revenue sources will also increase to offset the cost for increased police protection and right of way maintenance.

Proposed Annexation Schedule

Below is a proposed annexation schedule:

City Council Approve Petition for Annexation and Direct City Attorney to Draft Ordinance	January 10, 2017
Send Letter to County on Annexation	January 12, 2017
1 st Advertisement of Annexation in Clay Today (7 days before public hearing)	January 12, 2017
City Council First Reading of Annexation Ordinance	January 24, 2017
2 nd Advertisement of Annexation in Clay Today (5 days before public hearing)	February 2, 2017
City Council Second and Final Reading of Annexation IF REFERENDUM IS REQUIRED FOR ANNEXATION- PRIOR TO ORDINANCE BECOMING EFFECTIVE	February 7, 2017
Notify Supervisor of Elections of Referendum	February 8, 2017
Vote of the registered voters at the annexed area (Regularly scheduled City Council election)	April 11, 2017

If referendum passes, ordinance for annexation becomes effective 10 days after referendum passes.

April 21, 2017

This is a representative schedule only and must conform in all respects to State Statute.

March 23, 2021

VIA OVERNIGHT MAIL

Michael Daniels, AICP
Planning and Zoning Director
City of Green Cove Springs
321 Walnut Street
Green Cove Springs, Florida 32043

Re: Ayrshire/Revised Applications for Annexation and Large-Scale Comprehensive Plan Amendment, Applications for Planned Unit Development Rezoning and Development Agreement

Dear Mr. Daniels:

Our client, D.R. Horton, Inc. – Jacksonville (“Applicant”), is the contract purchaser of approximately 889 acres owned by Gusafson’s Cattle, Inc. with Clay County Parcel Identification No. 38-06-26-016515-000-00 (the “Property”).

The Property is located in unincorporated Clay County and has future land use designations of Rural Fringe and Industrial and zoning districts of Agricultural and Industrial. On December 1, 2020, the Applicant team filed applications to annex the Property into the City of Green Cove Springs and give the Property certain City future land use designations.

During the last few months, the Applicant team has worked closely with City staff to hone the details in the original annexation and Comprehensive Plan Amendment applications, as well as the standards and conditions to include in the proposed Planned Unit Development (“PUD”) rezoning and Development Agreement applications. Based on those discussions, the Applicant team respectfully submits the following applications and supporting documents related to the Property, which is proposed to be developed with a maximum of 2,100 single-family and multi-family residential units:

1. Revised Annexation Application, which includes only the approximately 561 acres of the Property located north of Jersey Avenue (the “RMD Property”).
2. Revised Comprehensive Plan Amendment Application, which requests to change the Future Land Use Map designation of the RMD Property to Residential Medium Density.
3. Rezoning Application for the Ayrshire PUD, which includes development standards for the RMD Property.
4. Development Agreement, which includes public facility conditions related to development of the RMD Property.

Michael Daniels
March 23, 2021
Page 2

We look forward to working with you on the Ayrshire project.

Sincerely yours,



Ellen Avery-Smith

cc: City Attorney Jim Arnold, Esq.
Bob Porter
Anthony Sharp
John Gislason
Vince Dunn
Rajesh Chindalur

APPLICATION FOR ANNEXATION

WE THE UNDERSIGNED, BEING THE LAND OWNERS OF THE FOLLOWING PROPERTY HEREINAFTER DESCRIBED DO HEREBY FILE THIS APPLICATION FOR ANNEXATION INTO THE CITY OF GREEN COVE SPRINGS, FLORIDA, CONSISTENT WITH THE LAWS OF THE STATE OF FLORIDA AND THE CITY OF GREEN COVE SPRINGS, FLORIDA.

Date of Application December 1, 2020

Name(s) of Property Owner(s): GUSTAFSON'S CATTLE INC

Physical Address of the property: County Road 15 A

Number of parcels to be annexed: One

Parcel Numbers: 38-06-26-016515-000-00

Map or Drawing Attached: (x) YES () NO

TO BE COMPLETED BY CITY STAFF

At the time of "Application for Annexation"

County Future Land-Use designation: _____ County Zoning designation: _____

Proposed City Land-Use designation: _____ Proposed City Zoning designation: _____

Current use of the property: _____ Property Size/Acreage: _____

If residential use, number of "Living Units": _____

Number of people currently living on property: _____

If commercial use, square footage of building area: _____

Intended "Use" of the property: _____ When: _____

Electric Provider: _____

Water/Sewer Provider: _____

SIGNATURE PAGE

Ellen Avery-Smith, Esq. of Rogers Towers, P.A.

Signature of Property Owner(s) or Authorized

Printed Name of Property Owner

100 Whetstone Place, Suite 200, St. Augustine, Florida 32086

Mailing Address

904-825-1615

eaverysmith@rtlaw.com

Telephone Number(s)

E-mail address

I hereby certify that I have read and understand the contents of this application, and that this application together with all supplemental data and information is a true representation of the facts concerning this request; that this application is made with my approval, as owner and applicant, as evidenced by my signature below. It is hereby acknowledged that the filing of this application does not constitute automatic approval of the request; and further that if the request is approved, I will obtain all necessary permits and comply with all applicable orders, codes, conditions, rules and regulations pertaining to the use or development of the subject property.

12/1/2020
Date

Ellen Avery-Smith
Signature of owner or owner's authorized representative

State of Florida

County of St. Johns

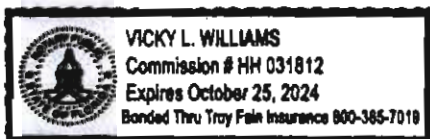
The foregoing instrument was acknowledged before me this 1st day of December

2020, by Ellen Avery-Smith

who is personally known to me, or who has/have produced _____ as identification.

(NOTARY SEAL)


Vicky L. Williams
Signature of Notary Public



Name of Notary



PROPERTY OWNER AFFIDAVIT

Owner Name: Gustafson's Cattle, Inc.	
Address: PO Box 600337, Jacksonville, FL 32260	Phone:
Agent Name: Ellen Avery-Smith, Esq. of Rogers Towers, P.A. & D.R. Horton, Inc. - Jacksonville	
Address: ca 100 Wheelstone Place, Suite 200, St. Augustine, FL 32086	Phone: 904-825-1615
Parcel No.: 38-06-26-016515-000-0	
Requested Action: Application for Annexation	
<p>I hereby certify that:</p> <p>I am the property owner of record. I authorize the above listed agent to act on my behalf for the purposes of this application.</p> <p>Property owner signature: <u><i>Edwin S Gustafson III</i></u></p> <p>Printed name: <u>Edwin S Gustafson III</u></p> <p>Date: <u>10/8/2020</u></p> <p>The foregoing affidavit is acknowledged before me this <u>8th</u> day of <u>OCT</u>, 20<u>20</u>, by <u>EDWIN S. GUSTAFSON III</u>, who is/are personally known to me, or who has/have produced <u>A FLORIDA DRUMS LLC</u> (3231-217-08-330-0) as identification.</p> <p>NOTARY SEAL  Larry A. Hunt State of Florida My Commission Expires 11/22/2021 Commission No. GG 155171</p> <p><u><i>Larry A. Hunt</i></u> Signature of Notary Public, State of <u>FL</u></p>	

January 08, 2021

Work Order No. 21-008.00
File No. 127E-39.00A**Ayrshire North Re-Zoning**

A portion of Section 38 of the George I.F. Clarke Grant, Township 6 South, Range 26 East, Clay County, Florida, being a portion of those lands described and recorded in Official Records Book 1545, page 513 of the Public Records of said county and being more particularly described as follows:

For a Point of Reference, commence at the intersection of the Easterly right of way line of County Road 15A, (South Oakridge Avenue), a 100 foot right of way as presently established with the Southerly right of way line of Green Cove Avenue, a variable width right of way as presently established; thence Southerly along said Easterly right of way line and along the arc of a curve concave Westerly having a radius of 1959.86 feet, through a central angle of 14°47'09", an arc length of 505.76 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 05°15'37" East, 504.36 feet; thence South 02°07'57" West, continuing along last said Easterly right of way line, 1331.79 feet to the Southwest corner of those lands described and recorded in Official Records Book 3863, page 203 of said Public Records and the Point of Beginning.

From said Point of Beginning, thence Easterly and Northeasterly along the Southerly and Southeasterly boundary of last said lands, the following 12 courses: Course 1, thence South 88°31'42" East, departing last said Easterly right of way line, 282.59 feet; Course 2, thence North 21°17'17" East, 161.55 feet; Course 3, thence South 68°42'43" East, 287.10 feet; Course 4, thence South 58°52'43" East, 32.90 feet; Course 5, thence South 37°48'54" East, 22.40 feet; Course 6, thence North 70°53'31" East, 15.20 feet; Course 7, thence North 34°14'49" East, 52.23 feet; Course 8, thence South 88°17'22" East, 94.17 feet; Course 9, thence North 31°43'31" East, 427.82 feet; Course 10, thence North 73°46'32" West, 158.11 feet; Course 11, thence North 13°06'51" East, 477.10 feet; Course 12, thence North 10°55'57" East, 142.00 feet to a point lying on the Southwesterly line of those lands described and recorded as Parcel "A" in Official Records Book 3316, page 1098 of said Public Records; thence South 77°06'26" East, along last said line, 2932.48 feet to the Northwest corner of those lands described and recorded in Official Records Book 3855, page 1391 of said Public Records; thence Southerly along the westerly line thereof, the following 3 courses: Course 1, thence South 21°54'49" East, 3242.16 feet; Course 2, thence South 68°05'09" West, 1307.43 feet; Course 3, thence South 21°54'51" East, 1003.87 feet to a point lying on the Northerly line of an Access and Maintenance Easement as described and recorded in Official Records Book 3855, page 1394 of said Public Records; thence Westerly along said Northerly line, the following 26 courses: Course 1, thence South 37°01'31" West, 149.07 feet to the point of curvature of a curve concave Northwesterly having a radius of 955.00 feet; Course 2, thence Southwesterly along the arc of said curve, through a central angle of 16°37'06", an arc length of 276.99 feet to a point on said curve, said arc being subtended by a chord bearing and distance of South 45°20'05" West, 276.02 feet; Course 3, thence South 67°24'13" West, along a non-tangent line, 105.10 feet; Course 4, thence South 53°45'05" West, 12.16 feet; Course 5, thence South 13°14'26" West, 24.72 feet; Course 6, thence South 63°07'28" West, 859.11 feet; Course 7, thence North 26°52'32" West, 5.00 feet; Course 8, thence South 63°07'28" West, 382.73 feet; Course 9, thence North 26°52'32" West, 31.65 feet; Course 10, thence South 63°07'28" West, 74.60 feet; Course 11, thence South

26°52'32" East, 36.65 feet; Course 12, thence South 63°07'28" West, 102.14 feet to the point of curvature of a curve concave Northerly having a radius of 955.00 feet; Course 13, thence Westerly along the arc of said curve, through a central angle of 22°47'15", an arc length of 379.82 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 74°31'05" West, 377.32 feet; Course 14, thence South 85°54'43" West, 731.91 feet; Course 15, thence North 04°05'17" West, 5.00 feet to a point on a non-tangent curve concave Northerly having a radius of 250.00 feet; Course 16, thence Westerly along the arc of said curve, through a central angle of 05°44'03", an arc length of 25.02 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 88°46'45" West, 25.01 feet; Course 17, thence North 88°21'14" West, 61.78 feet; Course 18, thence North 19°49'14" West, 8.30 feet; Course 19, thence North 55°44'57" West, 30.16 feet; Course 20, thence South 67°18'10" West, 29.23 feet; Course 21, thence South 07°09'24" West, 17.00 feet; Course 22, thence North 88°21'14" West, 362.37 feet; Course 23, thence South 01°38'46" West, 5.00 feet; Course 24 thence North 88°21'14" West, 800.00 feet; Course 25, thence North 01°38'46" East, 10.00 feet; Course 26, thence North 88°21'14" West, 355.52 feet to a point lying on the aforementioned Easterly right of way line of County Road 15A; thence North 02°07'57" East, along last said Easterly right of way line, 5150.65 feet to the Point of Beginning.

Containing 560.52 acres, more or less.

January 08, 2021

Work Order No. 21-008.00
File No. 127E-39.00A

Ayrshire North Re-Zoning

A portion of Section 38 of the George I.F. Clarke Grant, Township 6 South, Range 26 East, Clay County, Florida, being a portion of those lands described and recorded in Official Records Book 1545, page 513 of the Public Records of said county and being more particularly described as follows:

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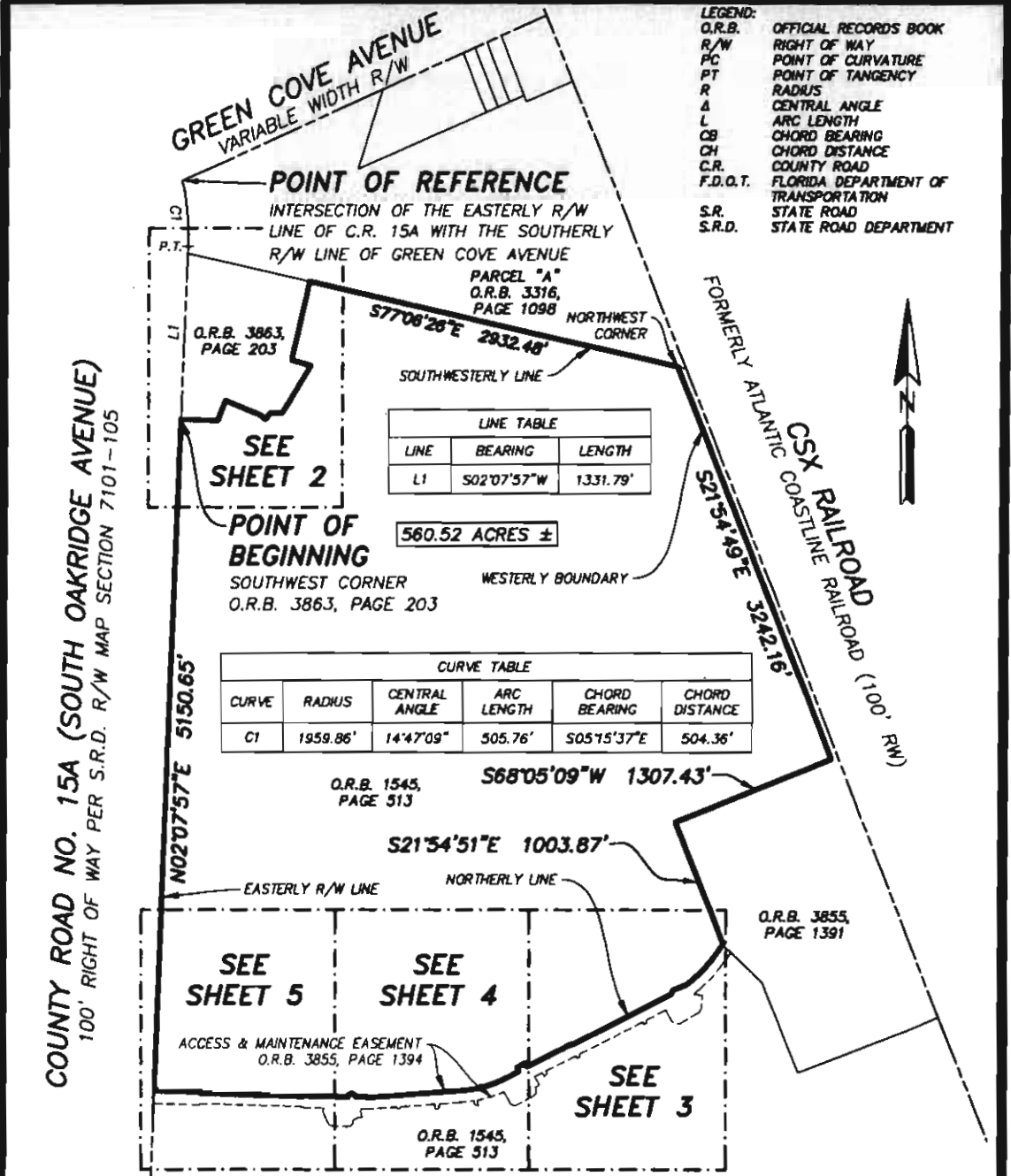
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Containing 560.52 acres, more or less.

SKETCH TO ACCOMPANY DESCRIPTION OF

A PORTION OF SECTION 38 OF THE GEORGE I.F. CLARKE GRANT, TOWNSHIP 6 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA, BEING A PORTION OF THOSE LANDS AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1545, PAGE 513 OF THE PUBLIC RECORDS OF SAID COUNTY, BEING MORE PARTICULARLY DESCRIBED IN SEPARATE ATTACHMENT.



SHEET 1 OF 5

- GENERAL NOTES:**
- 1) THIS IS NOT A SURVEY.
 - 2) BEARINGS BASED ON THE EASTERLY RIGHT OF WAY LINE OF C.R. 15A, BEING SOUTH 02°07'57" WEST.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



14775 Old St. Augustine Road, Jacksonville, FL. 32258
 Tel: (904) 642-8550 Fax: (904) 642-4165
 Certificate of Authorization No.: LB 3624

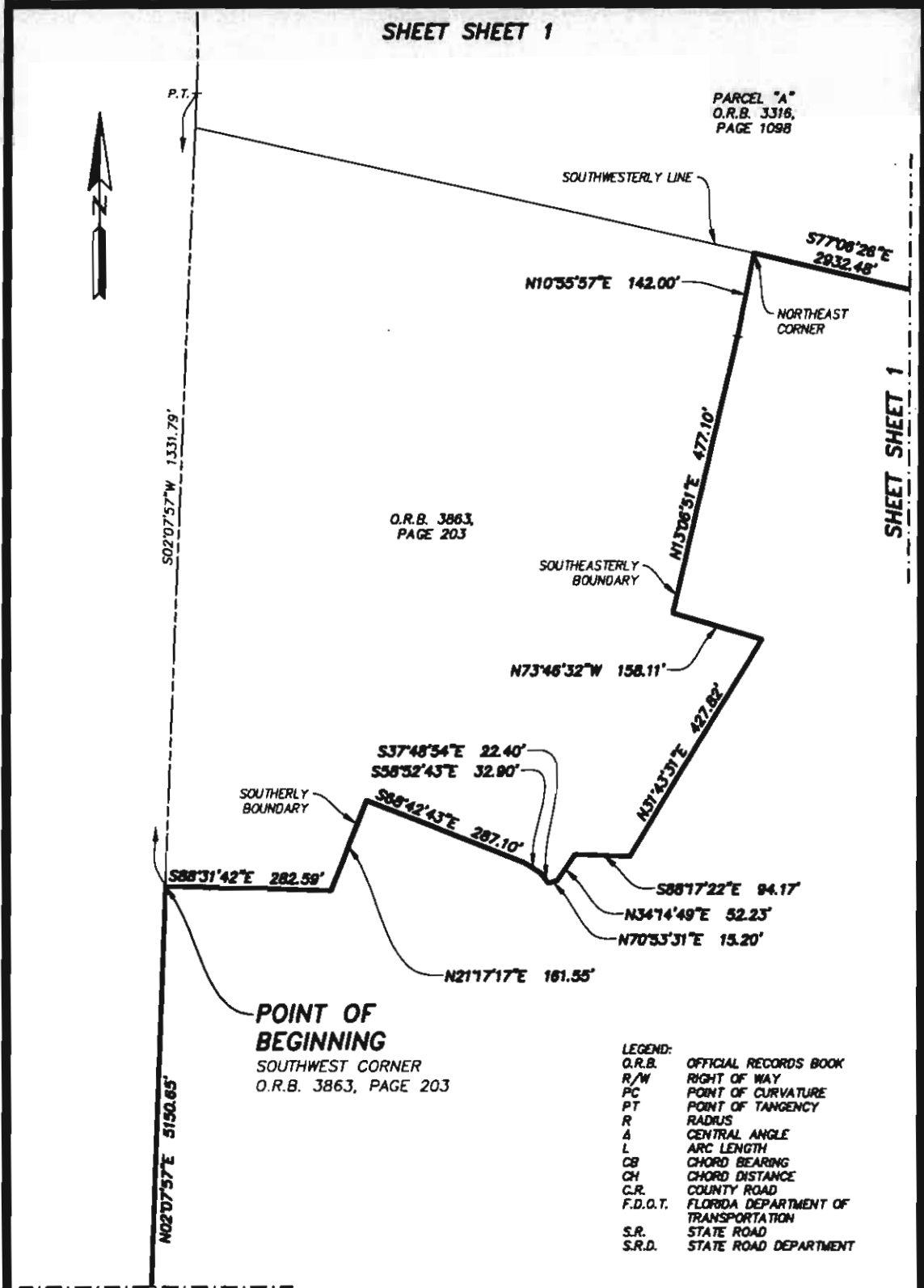
SCALE: 1"=1000'
 DATE: JANUARY 8, 2021

Bob L. Pittman
BOB L. PITTMAN
 PROFESSIONAL SURVEYOR AND MAPPER
 STATE OF FLORIDA PSM No. 4827

SKETCH TO ACCOMPANY DESCRIPTION OF

A PORTION OF SECTION 38 OF THE GEORGE I.F. CLARKE GRANT, TOWNSHIP 6 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA, BEING A PORTION OF THOSE LANDS AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1545, PAGE 513 OF THE PUBLIC RECORDS OF SAID COUNTY.

SHEET SHEET 1



SHEET SHEET 5

SHEET 2 OF 5

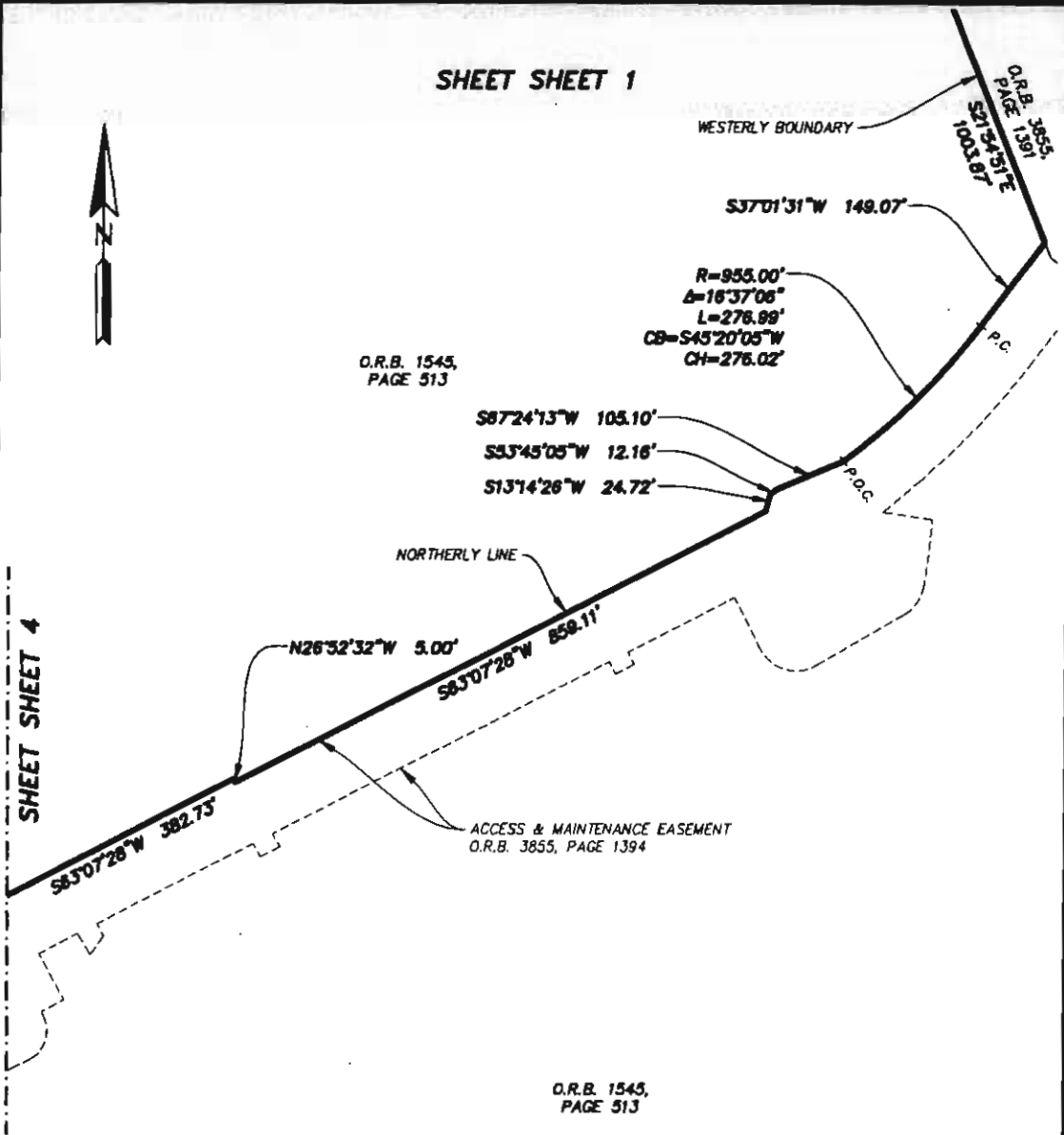
SKETCH TO ACCOMPANY DESCRIPTION OF

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SHEET SHEET 1



SHEET SHEET 4



O.R.B. 1545, PAGE 513

R=955.00'
Δ=16°37'06"
L=276.99'
CB=S45°20'05\"W
CH=276.02'

S87°24'13\"W 105.10'
S33°45'05\"W 12.16'
S13°14'26\"W 24.72'

NORTHERLY LINE

N26°32'32\"W 5.00'

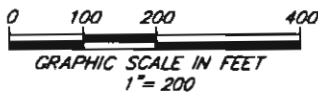
S83°07'28\"W 858.11'

S85°07'28\"W 382.73'

ACCESS & MAINTENANCE EASEMENT
O.R.B. 3855, PAGE 1394

O.R.B. 1545, PAGE 513

- LEGEND:
- O.R.B. OFFICIAL RECORDS BOOK
 - R/W RIGHT OF WAY
 - PC POINT OF CURVATURE
 - PT POINT OF TANGENCY
 - R RADIUS
 - Δ CENTRAL ANGLE
 - L ARC LENGTH
 - CB CHORD BEARING
 - CH CHORD DISTANCE
 - C.R. COUNTY ROAD
 - F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 - S.R. STATE ROAD
 - S.R.D. STATE ROAD DEPARTMENT



PREPARED BY:
ETM SURVEYING & MAPPING, INC.
 14775 OLD ST. AUGUSTINE ROAD
 JACKSONVILLE, FL 32250 (904) 643-8590
 CERTIFICATE OF AUTHORIZATION NO. LB 5624

SHEET 3 OF 5

SKETCH TO ACCOMPANY DESCRIPTION OF

A PORTION OF SECTION 38 OF THE GEORGE I.F. CLARKE GRANT, TOWNSHIP 6 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA, BEING A PORTION OF THOSE LANDS AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1545, PAGE 513 OF THE PUBLIC RECORDS OF SAID COUNTY.

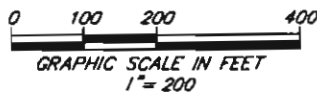
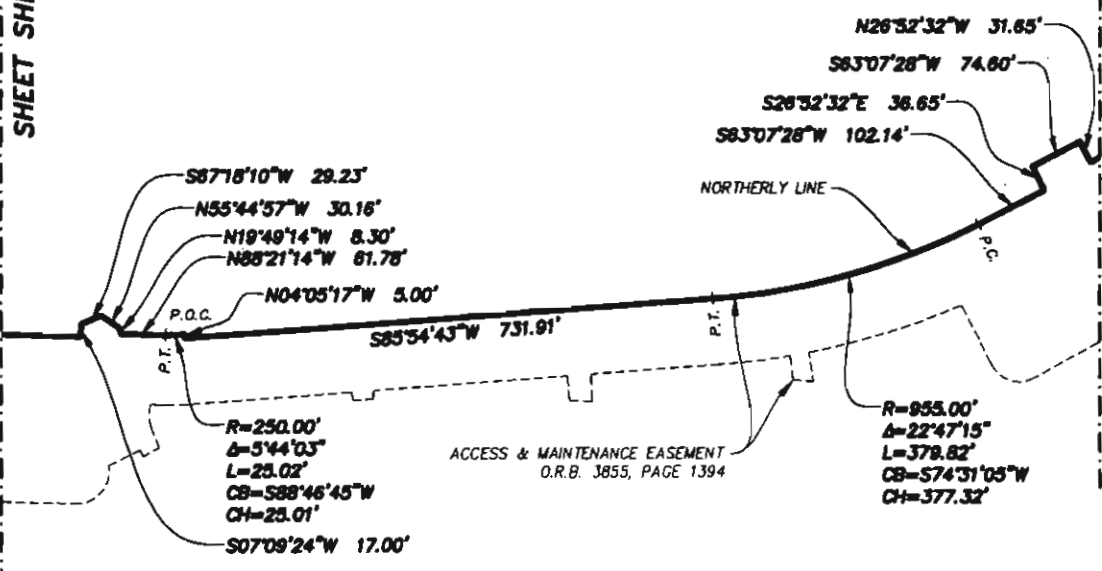


- LEGEND:
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 - S.R. STATE ROAD
 - S.R.D. STATE ROAD DEPARTMENT

SHEET SHEET 5

SHEET SHEET 3

O.R.B. 1545,
PAGE 513



SHEET 4 OF 5

PREPARED BY:
ETM SURVEYING & MAPPING, INC.
14775 OLD ST. AUGUSTINE ROAD
JACKSONVILLE, FL 32238 (904) 642-8530
CERTIFICATE OF AUTHORIZATION NO. LB 3424

SKETCH TO ACCOMPANY DESCRIPTION OF

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SHEET SHEET 1

COUNTY ROAD NO. 15A (SOUTH OAKRIDGE AVENUE)
100' RIGHT OF WAY PER S.R.D. R/W MAP SECTION 7101-105

N02°07'57"E 5150.65'

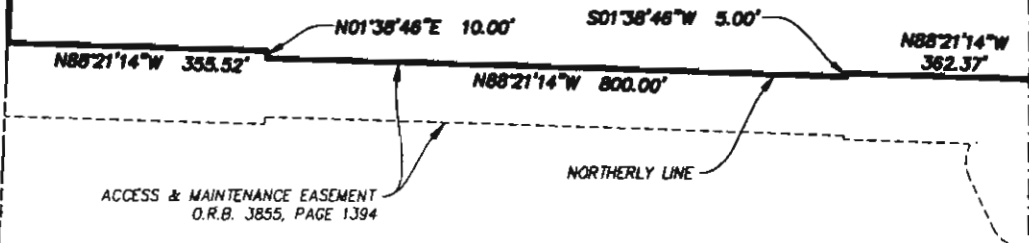


- LEGEND:
- O.R.B. OFFICIAL RECORDS BOOK
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 - PC POINT OF CURVATURE
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O.R.B. 1545,
PAGE 513

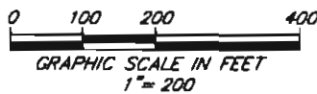
EASTERLY R/W LINE

SHEET SHEET 4



ACCESS & MAINTENANCE EASEMENT
O.R.B. J855, PAGE 1394

NORTHERLY LINE



SHEET 5 OF 5

PREPARED BY:
ETM SURVEYING & MAPPING, INC.
 14775 OLD ST. AUGUSTINE ROAD
 JACKSONVILLE, FL 32258 (904) 642-8530
 CERTIFICATE OF AUTHORIZATION NO. LB 3624



Clay County Property Appraiser's Office

Parcel Summary

Parcel ID 38-06-26-016515-000-00
Location COUNTY ROAD 15A
Address Green Cove Springs 32043
Brief Tax Description* N1/2 LOT 4; PT LOTS 5 & 6 BLK 22 AS REC DB 00 PG 734; 55 PG 44; L PG 444; KK PG 414 PT OF LOTS 1-4 BLK 37 DB 15 PG 82; 156 PG 256 & 498; LL PG 606; 7 PG 247 & 1545 PG 513 EX 1/2 ACRES; M PG 125; PT BAYARD TRACT DB 15 PG 456; ALL PT OF SMITH SURVEY BAYARD TRACT; LOT 1-5 BLK 24; ALL BLK 5 25;26;32 & 33 EX SEC 13 BLK 33 & PT OF ROWELL; LOTS 1 & 2 BLK 24 EX PT TO RD; LOTS 1 & 2 BLK 35 O R 66 PG 121 EX PT TO MILLER; SECS 1 & 2 LOT 2 BLK 50; PT LOT 2 BLK 51 DB 49 PG 55 BAYARD TRACT S/D; 1545 PG 510; 3316 PG 1098; 3855 PG 1391; 3939 PG 192; 5R23 4081 PG 1202 & 1208; 4081 PG 1162
 (Note: *The Description above is not to be used on legal documents.)
Property Use Code TIMB 70/79 (5600)
Sec/Twp/Rng 38/6/26
Tax District Tax Dist 001
Millage Rate 15.2187
Acreage 946.441
Homestead N

Map



Owner Information

GUSTAFSON'S CATTLE INC
 PO BOX 600337
 JACKSONVILLE FL 32260-0337

Land Information

Land Use	Number of Units	Unit Type	Land Type	Frontage	Depth
TIMB 70/79 (5600)	180.00	Timber 70/79	Ag Use	0	0
N-PRODUCT (5930)	103.74	Non-Productive	Ag Use	0	0
Vacant > 10 AC/Non-Ag (9900)	662.70	South Green Cove Springs Rural Residential	Site	0	0

Sales

Sale Date	Sale Price	Instrument	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
1/17/1995	\$1,223,200	Warranty Deed	1545	511	Qualified	Improved	GUSTAFSONS DAIRY INC	GUSTAFSONS DAIRY FARM INC

Recent Sales in Area

Sale date range:

From:

09/09/2010

To:

09/09/2020

Sales by Neighborhood

1500

Feet

Sales by Distance

TRIM Notice

[38-06-26-016515-000-00\(PDF\)](#)

Valuation

	2020 TRIM Values	2019 Certified	2018 Certified	2017 Certified
+ Building Value	\$0	\$0	\$0	\$64,674
+ Extra Features Value	\$0	\$0	\$0	\$232,096
+ Land Value	\$2,622,641	\$1,988,103	\$1,988,103	\$2,327,664
Land Agricultural Value	\$52,887	\$52,887	\$52,887	\$262,767
Agricultural (Market) Value	\$634,538	\$560,748	\$560,748	\$2,327,664
= Just Market Value	\$2,622,641	\$2,548,851	\$2,548,851	\$2,624,434
= Total Assessed Value	\$2,040,990	\$2,040,990	\$2,040,990	\$559,537
- Exempt Value	\$0	\$0	\$0	\$0
= Total Taxable Value	\$2,040,990	\$2,040,990	\$2,040,990	\$559,537
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Property Record Card

[2020 Property Record Card\(PDF\)](#)

No data available for the following modules: Buildings, Yard Items, Photos, Sketches



[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 9/9/2020, 7:46:17 AM

Version 2.3.84

1950
856240



Book: 1545
Page: 0513
Rec: 03/30/95
12:34 P.M.
File# 9509079
John Keene
Clerk Of Courts
Clay County, FL
FEE \$10.50
DOC. \$8562.40

WARRANTY DEED

THIS INDENTURE, made this 17th day of January, 1995, GUSTAFSON'S DAIRY, INC., a Florida corporation, whose address is 4169 County Road 15A, Green Cove Springs, Florida 32043, party of the first part, and GUSTAFSON'S DAIRY FARM, INC., a Florida corporation, whose address is 4169 County Road 15A, Green Cove Springs, Florida 32043, party of the second part.

W I T N E S S E T H:

That the said party of the first part, in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other good and valuable consideration, to it in hand paid by said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained, and conveyed to said party of the second part, its successors and assigns forever, the following described land, situate, lying and being in Clay County, Florida, to wit:

SEE EXHIBIT "A" ATTACHED HERETO.

Subject to covenants, restrictions, easements, mortgages and all other encumbrances of record and taxes assessed subsequent to December 31, 1993; provided, however, this reference will not serve to reimpose any such covenants, restrictions or easements.

Real Estate Assessment No. 38-06-26-016515-000-00

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the undersigned has hereunto set his hand and seal on behalf of said party of the first part the day and year first above written.

Signed and Sealed in Our Presence:

GUSTAFSON'S DAIRY, INC., a Florida corporation

Sign: John L. Fisher
Print Name: JOHN FISHER

By: E. S. Gustafson
E. S. Gustafson
President

Sign: James H. Sheehan
Print Name: James H. Sheehan

STATE OF FLORIDA
COUNTY OF CLAY

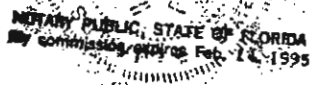
The foregoing instrument was acknowledged before me this 17th day of January, 1995, by E.S. Gustafson, President of Gustafson's Dairy, Inc., a Florida corporation, on behalf of the corporation, who are personally known to me or who has produced a driver's license as identification.

James H. Sheehan
Name: James H. Sheehan
NOTARY PUBLIC, State of Florida
Commission Number: CC285377

THIS DOCUMENT WAS PREPARED WITHOUT BENEFIT OF TITLE SEARCH OR SURVEY.

Prepared By/Return To:
James H. Sheehan, Esq.
3366 Mary Draper Court, East
Jacksonville, Florida 32223

Ret



A tract of land consisting of 1125 acres more or less in Clay County, State of Florida in section thirty eight (38), township six (6) south, Range twenty six (26) east. Bordered on the north by Green Cove Avenue on the east by the Seaboard Coast Line Railroad, on the south by lands of J.P. Hall, and on the west by County road 15A. More particularly described as follows:

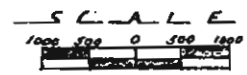
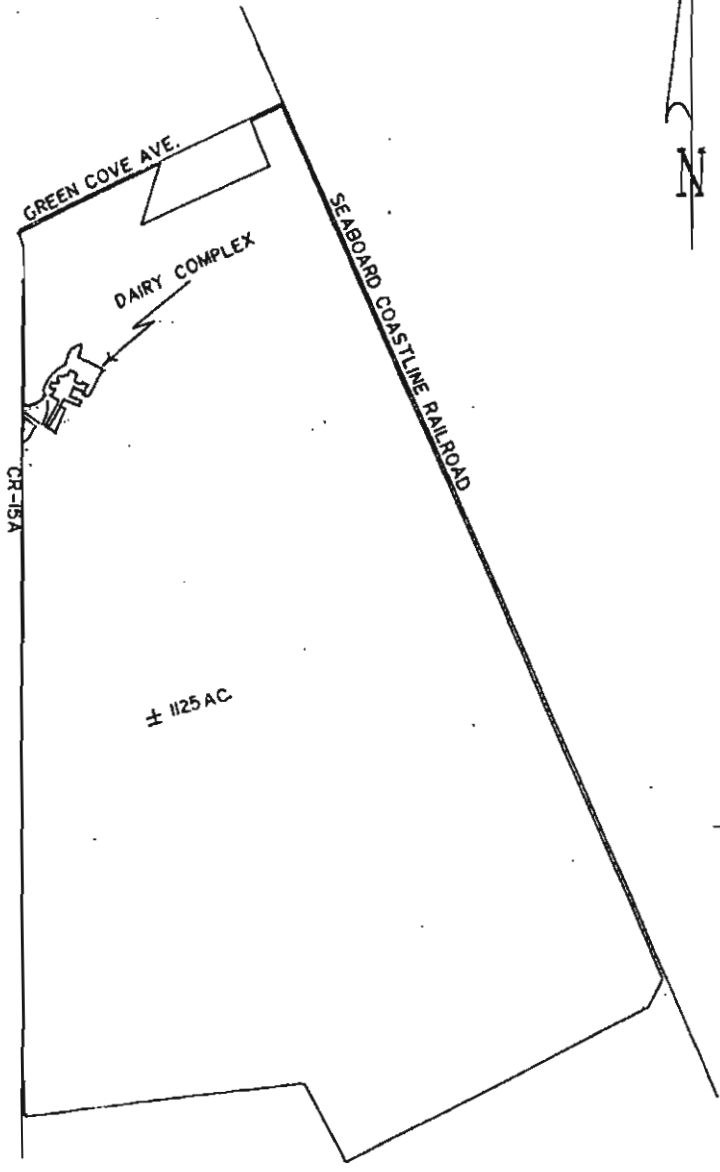
Beginning at the south right of way intersection of CR 15A and Green Cove Ave and thence east along said right of way of Green Cove Ave a distance of \pm 1700 feet turn south west at this point a distance of 640.31 feet at this point turn east a distance of 1416.60 feet, at this point north for a distance of 495.54 feet, east for a distance of 381.55 feet to the right of way of Seaboard Coastline Railroad south along said right of way for a distance of 9,900 feet at this point turn southwest for a distance of 400 feet turn west at this point for a distance of 3550 feet, turn northwest at this point a distance of 900 feet at this point turn west for a distance of 2995 feet to CR 15A right of way turn north along said right of way a distance of 9100 feet to a point of beginning. See Attached Map #1

LESS AND EXCEPT:

A track of land consisting of \pm 13.06 acres located in Clay County, State of Florida in the N.W. of Section thirty eight (38), Township Six (6) south, Range twenty six(26) East and more particularly described as follows:

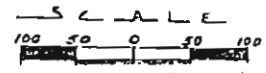
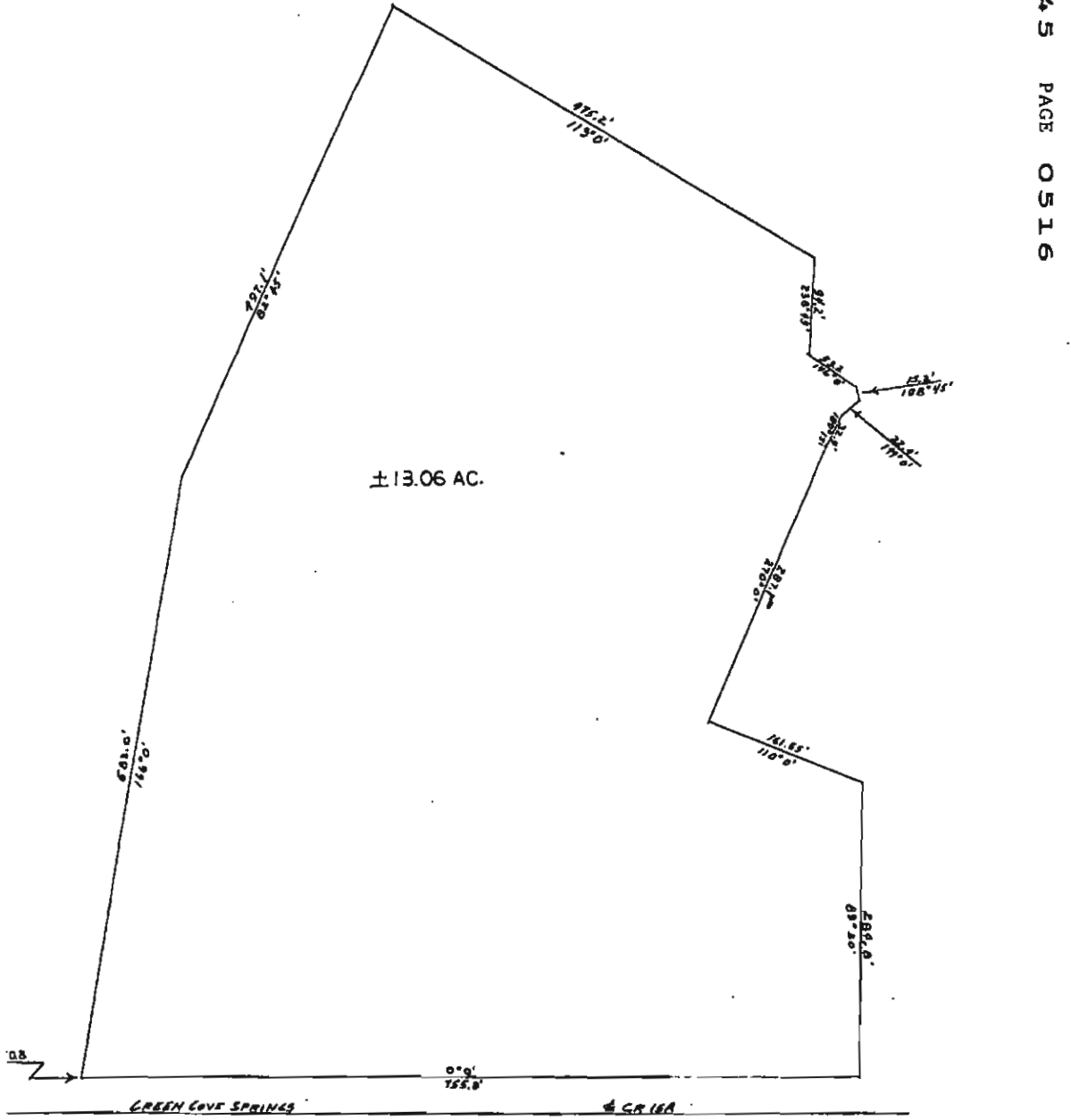
Commence at the center line of Green Cove Ave. at the intersection of Green Cove Ave. and County Road 15A. Thence south along County Road 15A a distance of 1120.5' to a point of beginning (P.O.B.) (iron pipe) continuing south along C.R. 15A 755.8' to an iron pipe (35.0' east of centerline of C.R. 15A) (CR#2) turn an angle of 89° 30' from P.O.B. and continue east a distance 284.8' to an iron pipe (CR#3) turn an angle of 110° 0' from CR#2 and continue north a distance of 161.55' to a brass cap set in concrete (CR#4) turn an angle of 270° 0' from CR#3 and continue east a distance of 287.1' to an iron pipe (CR#5) turn an angle of 189° 15' from CR#4 a distance of 32.9' to a brass cap set in concrete (CR#6) turn an angle of 199° 0' from CR#5 and continue south east 22.4' to a brass cap set in concrete (CR#7) turn an angle of 108° 45' from CR#6 continue east a distance of 15.2' to a brass cap set in concrete (CR#8) turn an angle of 146° 0' from CR#7 and continue north east a distance of 52.2' to an iron rod (CR#9) turn an angle of 238° 45' from CR#8 and continue a distance of 94.2' to an iron pipe (CR#10) turn an angle of 119° 0' from CR#9 and continue 475.2' to an iron pipe (CR#11) turn an angle of 82° 45' from CR#10 and continue a distance of 497.1' to an iron pipe (CR#12 located @ fence corner) turn an angle of 166° 0' and continue a distance of 583.0' to the Point Of Beginning.

SEE ATTACHED MAP # 2



1:1

North
←





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation
GUSTAFSON'S CATTLE, INC.

Filing Information

Document Number	P93000028514
FEI/EIN Number	59-3175830
Date Filed	04/16/1993
State	FL
Status	ACTIVE
Last Event	NAME CHANGE AMENDMENT
Event Date Filed	07/06/2004
Event Effective Date	NONE

Principal Address

135 W. BAY STREET, SUITE 400
JACKSONVILLE, FL 32202

Changed: 04/07/2020

Mailing Address

P.O. BOX 600337
JACKSONVILLE, FL 32260-0337

Changed: 04/07/2020

Registered Agent Name & Address

BRANT, REITER, MCCORMICK & JOHNSON, P.A.
135 W. BAY STREET, SUITE 400
JACKSONVILLE, FL 32202

Name Changed: 04/20/2016

Address Changed: 04/07/2020

Officer/Director Detail

Name & Address

Title DPVP

GUSTAFSON, E.S. JR.
P.O. BOX 600337
JACKSONVILLE, FL 32260-0337

Title AVPS

GUSTAFSON, EDDIE
 P.O. BOX 600337
 JACKSONVILLE, FL 32260-0337

Annual Reports

Report Year	Filed Date
2018	02/26/2018
2019	02/04/2019
2020	04/07/2020

Document Images

04/07/2020 – ANNUAL REPORT	View image in PDF format
02/04/2019 – ANNUAL REPORT	View image in PDF format
02/26/2018 – ANNUAL REPORT	View image in PDF format
02/13/2017 – ANNUAL REPORT	View image in PDF format
04/20/2016 – ANNUAL REPORT	View image in PDF format
03/03/2015 – ANNUAL REPORT	View image in PDF format
03/19/2014 – ANNUAL REPORT	View image in PDF format
04/03/2013 – ANNUAL REPORT	View image in PDF format
02/08/2012 – ANNUAL REPORT	View image in PDF format
03/10/2011 – ANNUAL REPORT	View image in PDF format
04/26/2010 – ANNUAL REPORT	View image in PDF format
04/29/2009 – ANNUAL REPORT	View image in PDF format
04/17/2008 – ANNUAL REPORT	View image in PDF format
01/25/2007 – ANNUAL REPORT	View image in PDF format
04/28/2006 – ANNUAL REPORT	View image in PDF format
04/19/2005 – ANNUAL REPORT	View image in PDF format
07/06/2004 – Name Change	View image in PDF format
05/04/2004 – ANNUAL REPORT	View image in PDF format
04/09/2004 – Amendment and Name Change	View image in PDF format
03/03/2003 – ANNUAL REPORT	View image in PDF format
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07/15/1997 – ANNUAL REPORT	View image in PDF format
05/01/1996 – ANNUAL REPORT	View image in PDF format
03/31/1995 – ANNUAL REPORT	View image in PDF format

Vicinity Map

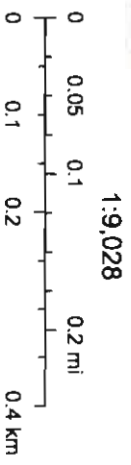


September 15, 2020

Aerial Map



September 15, 2020



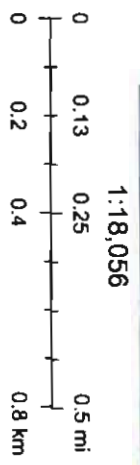
St Johns County, USDA FSA, GeoEye, Maxar

Future Land Use Map (County)



September 15, 2020

-  drawGraphics_poly
-  User drawn polygons
-  School
-  Park
-  Library
-  Bookmobile
-  Library; Main Library
-  Fire Station



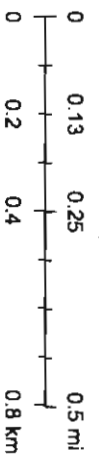
St Johns County, USDA FSA, GeoEye, Maxar

Zoning Map (County)



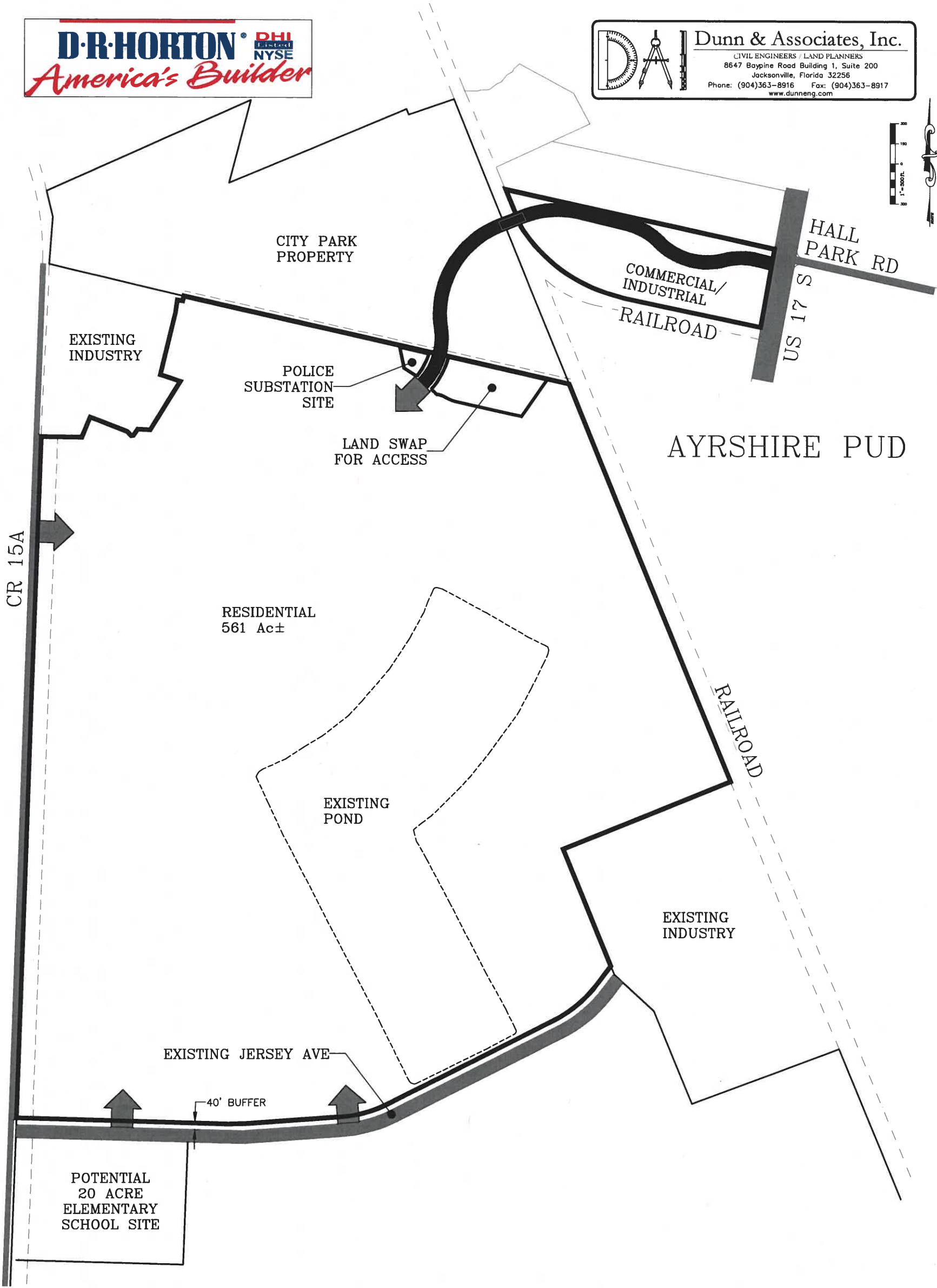
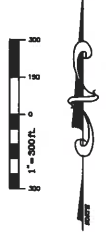
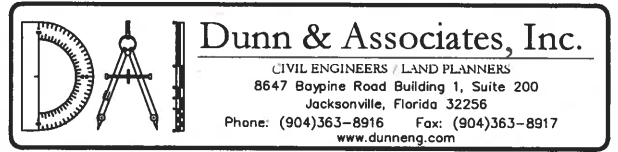
September 15, 2020

-  drawGraphics_poly
-  User drawn polygons
-  School
-  Park
-  Library
-  Bookmobile
-  Library, Main Library
-  Fire Station



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St Johns County, USDA FSA, GeoEye, Maxar





STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning and Zoning Commission **MEETING DATE:** April 27, 2021
FROM: Michael Daniels, AICP, Planning & Zoning Director
SUBJECT: Review of a Future Land Use Amendment request from Rural Fringe / Industrial (County) to Residential Low Density (RLD) for the Ayrshire Development for the Gustafson's Cattle, Inc. approximately 560.52 acres on CR 15 A, 016515-000-00

PROPERTY DESCRIPTION

APPLICANT: Ellen Avery-Smith, Esq. of Rogers Tower, PA **OWNER:** Gustafson's Cattle, Inc.

PROPERTY LOCATION: CR 15 A

PARCEL NUMBER: 016515-000-00

FILE NUMBER: 202001175

CURRENT ZONING: Agriculture (County) / Industrial Select (County)

FUTURE LAND USE DESIGNATION: Rural Fringe (County) / Industrial (County)

SURROUNDING LAND USE

NORTH: **FLU:** Recreation
Z: Recreation
Use: Undeveloped

SOUTH: **FLU:** Industrial (County)
Z: Heavy Industrial (County)
Use: Industrial / Undeveloped

EAST: **FLU:** Industrial (County)
Z: Heavy Industrial (County)
Use: Industrial

WEST: **FLU:** Rural Residential / Commercial / Agriculture (County)
Z: Agricultural Residential / Commercial (County)
Use: Single Family Homes, Commercial, Undeveloped

BACKGROUND

DEVELOPMENT DESCRIPTION:

The applicant, Ellen Avery Smith Esq, of Rogers Tower PA has submitted an annexation request for 560.52 acres on behalf of her client, DR Horton, as part of their contractual agreement to purchase the property from

the current property owner Gustafson’s Cattle Inc. The property is located on the east side of CR 15A, west of the railroad tracks, south of Green Cove Avenue and north of Jersey Avenue.

The site is located within the City’s Electric Service Boundary and will be served by the City’s electric and sanitation services and by the Clay County Utility Authority for water and sewer.

The site historically was used as a dairy farm. The dairy farm is no longer in service and the property has been allowed to go fallow. The property is heavily wooded with a combination of hardwood and invasive species. A large L-shaped wetland is located in the south-central portion of the property. This request is a large-scale Future Land Use Amendment which, if transmitted by City Council, shall be reviewed by the Department of Economic Opportunity prior to City Council action on adoption.

NEEDS ANALYSIS:

Per Chapter 163.3177, Florida Statutes, need shall be based upon the amount of land designated for future uses and shall:

- 1) Provide a balance of uses that foster vibrant, viable communities and economic opportunities and address outdated development patterns, such as antiquated subdivisions; and,
- 2) Allow the operation of real estate markets to provide adequate choices for residents and business, with the amount of land designated for future use not limited solely by the projected population. The minimum amount of land use required to accommodate at least a 10-year planning period must be included in the comprehensive plan.

Comment: Clay County’s population within the Green Cove Springs Planning area pursuant to the Clay County is expected to increase by a population of 26,531 people creating a housing demand within the planning area of 10,851 units pursuant the Clay County 2040 Comprehensive Plan. Based on the total allowable density of 4 units per acre, an additional 2,242 units can be added onsite. There is adequate demand for the total number of dwelling units factoring in the projected demand from significant active developments such as Governors Park, Saratoga Springs etc. as set forth in the enclosed Housing Demand Analysis. This request supports the projected growing population for the County by providing more housing options for current and future residents.

Urban Sprawl Analysis

Section 163.3177, Florida Statutes, requires that any amendment to the Future Land Use Element to discourage the proliferation of urban sprawl. Section 163.3177(6)(a)9.a., Florida Statutes, identifies 13 primary urban sprawl indicators and states that, “[t]he evaluation of the presence of these indicators shall consist of an analysis of the plan or plan amendment within the context of features and characteristics unique to each locality...”

An evaluation of each primary indicator is provided below.

(I) Promotes, allows, or designates for development substantial areas of the jurisdiction to develop as low-intensity, low-density, or single-use development or uses.

Evaluation & Findings: The proposed amendment will amend the subject to Residential Low-Density Development which allows for a density up to 4 units per acre. A companion amendment is a Future Land Use Site Specific Policy which will require the project to develop as a Planned Unit Development (PUD). The PUD permits for a more creative approach and efficient use of property. The PUD process allows for a mix of housing sizes and lot widths.

(II) Promotes, allows, or designates significant amounts of urban development to occur in rural areas at substantial distances from existing urban areas while not using undeveloped lands that are available and suitable for development.

Evaluation & Findings: The project site is located adjacent to the City of Green Cove Springs property which is proposed to be developed as a public park. The project is also in close proximity to the City trail system.

(III) Promotes, allows, or designates urban development in radial, strip, isolated, or ribbon patterns generally emanating from existing urban developments.

Evaluation & Findings: The proposed RLD Future Land Use designation is compatible with the surrounding residential development such as the residential development west of CR 15A.. Residential areas do not typically develop in radial, strip, isolated, or ribbon patterns. These development patterns are more associated with non-residential development.

(IV) Fails to adequately protect and conserve natural resources, such as wetlands, floodplains, native vegetation, environmentally sensitive areas, natural groundwater aquifer recharge areas, lakes, rivers, shorelines, beaches, bays, estuarine systems, and other significant natural systems.

Evaluation & Findings: The site has a significant amount of wetlands and wildlife on the property as provided in the environmental report provided by Carter Environmental Services. An environmental impact assessment and the required permitting as required by Federal and State agencies are required. Providing a site-specific Future Land Use Policy requiring the project to be developed will provide for the ability to ensure protection of the natural resources on the property.

(V) Fails to adequately protect adjacent agricultural areas and activities, including silviculture, active agricultural and silvicultural activities, passive agricultural activities, and dormant, unique, and prime farmlands and soils.

Evaluation & Findings: The surrounding property is not being used for agricultural purposes. The dairy farm that was historically located on the property is no longer in service.

(VI) Fails to maximize use of existing public facilities and services.

Evaluation & Findings: The site is in close proximity to the City's electric lines and the applicant shall be responsible for coordinating with the Clay County Utility Authority for extending water and sewer to the subject property. In addition, the property is adjacent to a proposed park property which is complementary to the proposed residential development.

(VII) Fails to maximize use of future public facilities and services.

Evaluation & Findings: Any future improvements to the City's public facilities and services will be utilized by the project site.

(VIII) Allows for land use patterns or timing which disproportionately increase the cost in time, money, and energy of providing and maintaining facilities and services, including roads, potable water, sanitary sewer, stormwater management, law enforcement, education, health care, fire and emergency response, and general government.

Evaluation & Findings: The proposed development will enter into a development agreement with the City and the Clay County School Board at the time of the zoning application to ensure that all adequate facilities are provided.

(IX) Fails to provide a clear separation between rural and urban uses.

Evaluation & Findings: The site is located within the City’s electric service area and within the City’s 2040 Urban Area as provided in the City Comprehensive Plan. In addition, the property was targeted for annexation as part of the City’s 2016 Annexation Report which was reviewed by the Department of Economic Opportunity and approved by City Council.

(X) Discourages or inhibits infill development or the redevelopment of existing neighborhoods and communities.

Evaluation & Findings: The proposed application shows that demand for housing units exceeds the current supply including when adding additional proposed development projects. As a result, approval of this project will not discourage or inhibit infill development.

(XI) Fails to encourage a functional mix of uses.

Evaluation & Findings: The project will be required to incorporate parks sufficient to comply with the City’s Level of Service for recreation as set forth in Objective 6.3.4 of the Comprehensive Plan. In addition, as a result of the project being developed as a PUD pursuant to the site-specific Future Land Use policy, addition non-residential uses such as a potential substation and school, as well as a planned park facility are planned to be on or near the subject property.

(XII) Results in poor accessibility among linked or related land uses.

Evaluation & Findings: The proposed roadway will provide access to CR 15 A and, in addition the applicant is proposing a road to fly over the railroad tracks and connect to US 17. The proposed development shall also provide pedestrian and bike facilities to link the park areas with the residential areas.

(XIII) Results in the loss of significant amounts of functional open space.

Evaluation & Findings: As part of a PUD, the project will provide for a more efficient development pattern of smaller lot sizes and thereby be able to create larger open space areas. In addition the project is required to comply with the City’s Level of Service requirements for recreational facilities

In addition to the preceding urban sprawl indicators, Florida Statutes Section 163.3177 also establishes eight (8) “Urban Form” criteria. An amendment to the Future Land Use Map is presumed to not be considered urban sprawl if it meets four (4) of the (8) urban form criteria. These urban form criteria, and an evaluation of each as each may relate to this application, are provided below. The applicant has provided an analysis of the application’s consistency with Section 163.3177 within the application materials, and contends that the proposed amendment will not encourage urban sprawl by showing it meets four of the eight urban form criteria.

Consistency with the Comprehensive Plan

The applicant proposes to amend the FLUM Designation from the County's Rural Fringe and Industrial to RLD, Residential Low Density, on the subject property. The following Comprehensive Plan Elements have Goals, Objectives, and Policies (GOPs) that support the proposed amendment to the Future Land Use Map of the City of Green Cove Springs Comprehensive Plan:

- Future Land Use Element
- Transportation Element
- Housing Element
- Sanitary Sewer, Solid Waste, Drainage, Potable Water and Aquifer Recharge Element
- Conservation Element

Staff finds the application consistent with the Comprehensive Plan and the Goals, Objectives, and Policies (GOPs) therein. A more detailed discussion, including consistency statements, of the specific goals, objectives, and policies is provided below.

FUTURE LAND USE ELEMENT

Goal 1

To develop and maintain land use programs and activities to provide for the most appropriate use of the land and direct growth to suitable areas while protecting the public, health, safety and welfare.

Analysis of Consistency: The City of Green Cove Springs has had a growing need for housing as the population grows and the city develops. While new housing in the form of in-fill development has been ongoing, a large boon of housing would not be feasible with the current land area within the municipal limits. The annexation of the presently undeveloped proposed property will all for an appropriate use of the land, which extends an existing residential area of town further southward. This will be done while simultaneously protecting or mitigating for important natural resources on-site, as well as accounting the health, safety, and welfare of future citizens / residents. The proposed development is consistent with this goal.

Policy 1.1.1

All land use decisions shall be consistent with the Conservation Element and require the analysis and/or coordination of the following:

- a. Size of development;
- b. Relationship and compatibility of proposed development with the adjacent and surrounding land uses;
- c. Compatibility and suitability of soils and topography for drainage and septic systems;
- d. Relationship to wetlands and floodplains; and
- e. Impact on adopted levels of service.

Analysis of Consistency: The proposed development will be required to meet the City's comprehensive plan and land development regulation requirements, which will ensure the size of the development is reasonable and works with the land, the development is compatible with surrounding land uses, the soils and topography are suitable for drainage systems, and the property maintains a positive relationship with wetlands maintained on-site. Adopted levels of services will be maintained throughout the construction of the development.

Policy 1.1.3

Development in the Conservation areas must be permitted by the Department of Environmental Protection, and all applicable local, state, and federal agencies, prior to receiving final approval by the City.

Analysis of Consistency: The applicant is already in discussions with the appropriate agencies to ensure the land is developed in the best manner possible and conserved lands are maintained in good conditions, not impacted by development.

Objective 1.2.1

The City shall ensure that development orders are conditioned upon the provision of essential facilities and services which meet the established Level of Service (LOS) standards and necessary to serve the proposed development by reviewing each site plan/development proposal to ensure compliance with concurrency and do not go beyond LOS threshold.

Analysis of Consistency: The property currently is undeveloped. Adopted levels of services will be maintained throughout the construction of the development.

Objective 1.2.2

The City shall continue its policy for mandatory sewer and water hookups for new development.

Analysis of Consistency: As part of the subdivision approval of this project, the development will be required to connect to CCUA's water and sewer facilities.

Policy 1.5.1

Planned Unit Developments shall be encouraged to control growth and design.

Analysis of Consistency: The applicant has presently submitted a voluntary annexation request and future land use amendment, but in the future will be submitting a Planned Unit Development rezoning application, which will allow for innovation in design as well as protection of natural resources.

TRANSPORTATION ELEMENT

Objective 2.3 Review of Proposed Development

All future development shall be reviewed to ensure that the adopted the level of service standards is met and that the development is consistent with applicable land development regulations and supports the Future Land Use Map.

Analysis of Consistency: The City and the applicant are working together to ensure the project will be consistent with and maintain adopted level of service standards, through review of a Traffic Study.

Objective 2.8

Site Development Traffic Circulation: The City shall require that all major developments and planned unit developments provide a circulation system which: provides adequate access to the major roadway network; provides for sound design of local and collector streets within such development; provides for the development of multi-use trails, and otherwise provides for the objectives and policies of the Land Use and Transportation Plan.

Analysis of Consistency: The proposed project will be designed in accordance with City requirements for circulation, access, and connectivity. The applicant is considering providing a trail throughout the proposed subdivision to connect CR 15A to US Highway 17, which will be wide enough to support public safety and encourage pedestrian activity through the subdivision.

Policy 2.10.4

The City shall review development consistent with the standards in the land development regulations to assure that adequate provisions exist for the bicycle and pedestrian.

Analysis of Consistency: As discussed above, the City is working with the applicant to ensure adequate provisions will be made for bicycles and pedestrians.

HOUSING ELEMENT

GOAL 3

The City of Green Cove Springs shall make provisions for adequate and affordable housing that meets the physical and social needs of all segments of the current and future population of the City.

Analysis of Consistency: This application would allow up to 2,242 dwelling units to be added to the housing market and will increase the variety of housing options within the City for its residents. The proposed lot sizes will also potentially increase the variety of market rate prices within the City.

Objective 3.1: Adequate and Affordable Housing

The City shall continue to assist the private sector in providing dwelling units of various types, sizes, and costs to meet the housing needs of the current and future residents and residents with special housing needs.

Analysis of Consistency: This application permits a maximum of 2,242 residential units, supporting this objective to provide dwelling units of various types, sizes, and costs.

Objective 3.2: Substandard Housing Conditions

The City shall conserve the quality of the existing housing stock and work to reduce the number of substandard housing units each year.

Analysis of Consistency: This application will allow for the development of new residential units, consistent with this objective.

SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER, AND AQUIFER RECHARGE ELEMENT

Policy 4.4.1

The City's land development regulations shall require review of all proposed development to ensure adequate retention/detention of stormwater runoff to maintain surface water quality, to encourage percolation, and reduce impacts to drainage canals, surface water, and groundwater. The City shall require proof of obtaining the appropriate drainage and stormwater permits and approvals from the DEP, SJRWMD and Army Corps of Engineers, prior to issuing development permits. No development shall be allowed to degrade surface water quality below the standards set forth in Chapter 40C-42, F.A.C. and Chapter 17-25, F.A.C.

Analysis of Consistency: The applicant is already working with and will continue to work with required agencies to ensure surface water quality is maintained, and drainage / stormwater are appropriately handled to best protect the environment and ensure public health and safety.

CONSERVATION ELEMENT

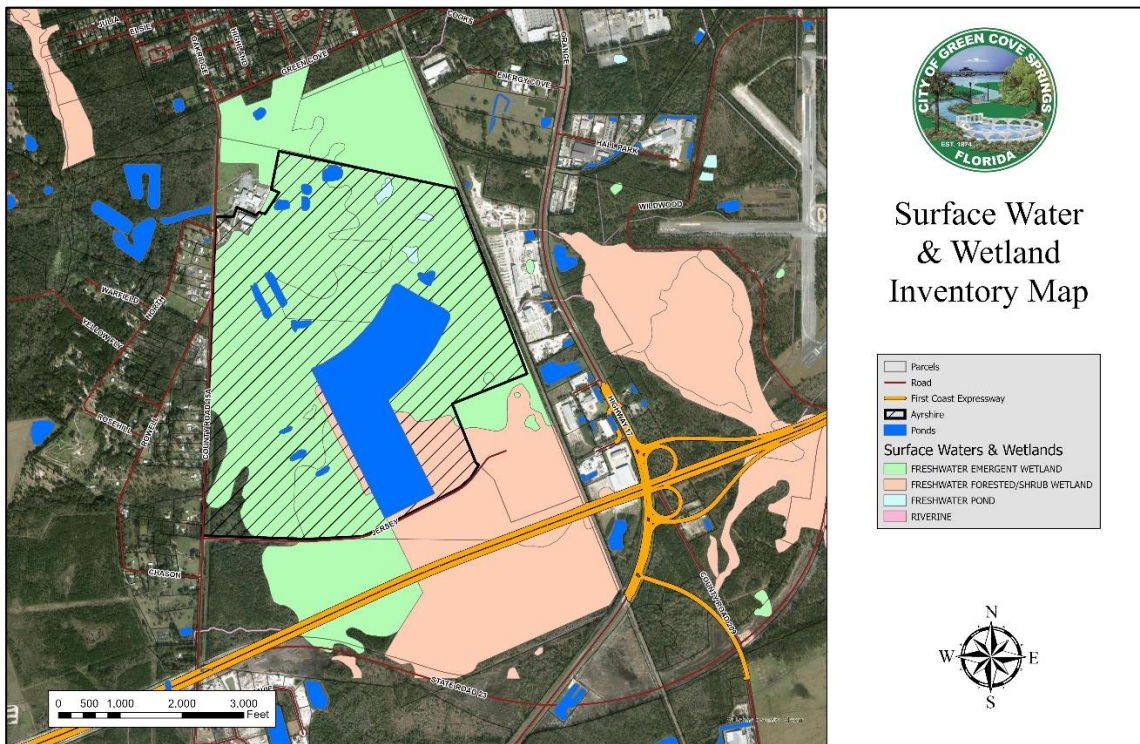
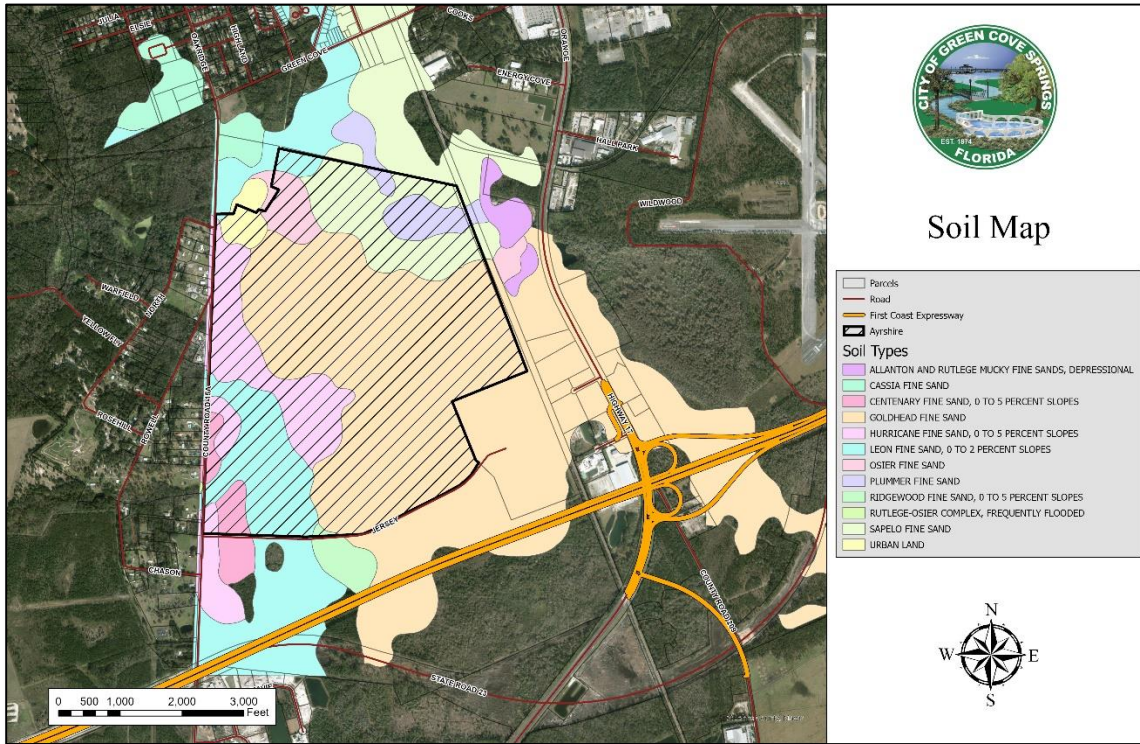
GOAL 5

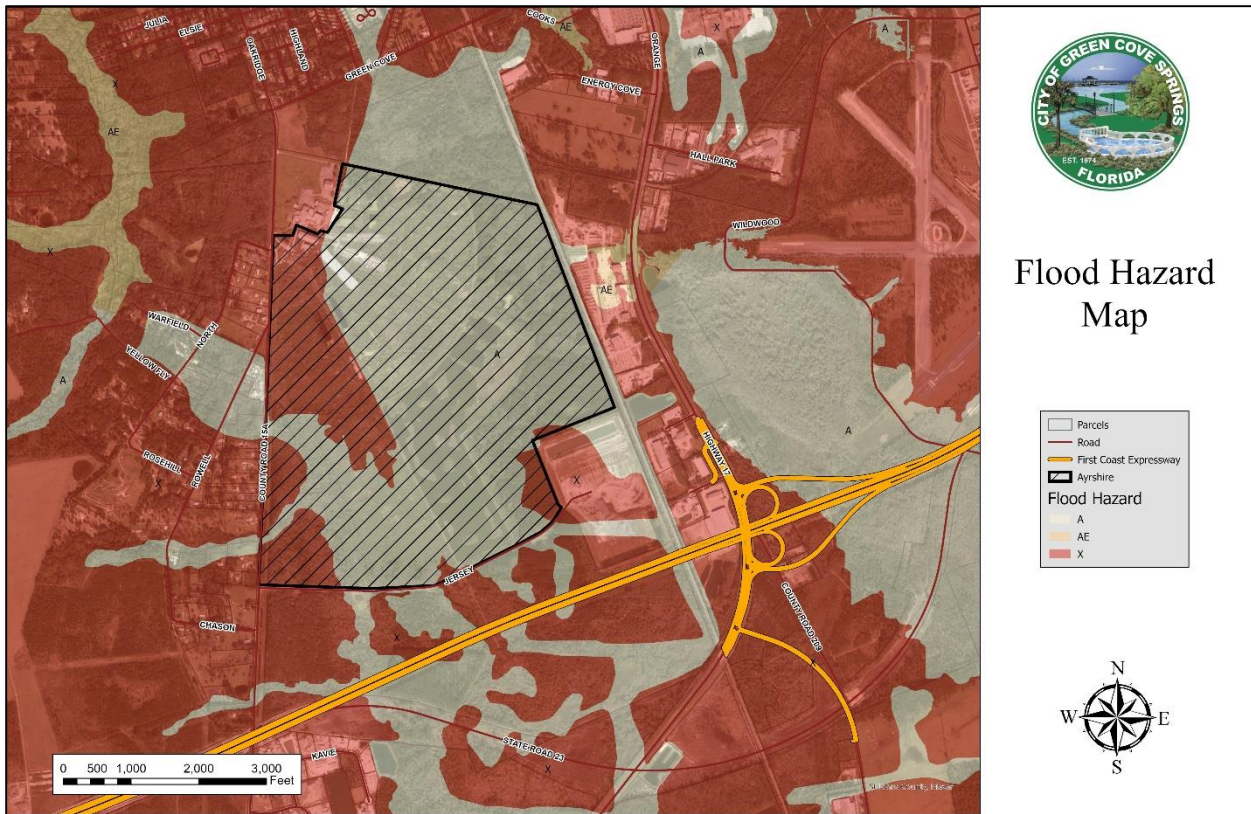
The City of Green Cove Springs shall conserve, utilize, and protect its natural resources to ensure that adequate resources are available for future generations.

Analysis of Consistency: The applicant, the City, and other agencies as applicable will work together to ensure the protection of natural resources during development. Portions of the land will be retained as open space for visual enjoyment and conservation purposes.

Environmental Conditions Analysis

Maps of Environmental Features





Wetlands

According to the National Wetlands Inventory, the majority of the property is a Freshwater Emergent Wetland with a small portion being a Freshwater Forested/Shrub Wetland. The developer has hired Carter Environmental Services who has delineated the wetlands on the property. The developer shall be required to secure all required permit from the Florida Department of Environmental Protection and the St John's River Water Management District prior to development approval

Soils

There are currently 8 types of soils located onsite:

- Goldhead Fine Sand, which encompasses the majority of the site, is a poorly drained soil;
- Hurricane Fine Sand is a gently sloping, somewhat poorly drained soil;
- Sapelo Fine Sand is a gently sloping, poorly drained soil;
- Leon Fine Sand is a gently sloping, poorly drained soil;
- Plummer Fine Sand is a gently sloping, poorly drained soil;
- Centenary Fine Sand is a gently sloping, moderately well drained soil;
- Urban Land is an unranked soil;
- Ridgewood Fine Sand is a gently sloping, somewhat poorly drained soil;

All new development shall be required to meet the stormwater management requirements of the St John's Water Management District.

Flood Zones

According to the FEMA Flood Map Service Center, the project site is located primarily within FEMA Flood Zone A, which has a 1% annual chance of flooding and is within the 100-year floodplain. A small portion on the western edge of the property within FEMA Flood Zone X, which is outside the 100-year floodplain.

Wellfield Protection Zone

The project site is not located within or adjacent to a wellfield protection zone.

Historic Structures and Markers

There are no historic structures or markers found on the site.

Public Facilities Impact

Traffic Impacts

Land Use ¹ (ITE)	Dwelling Units/SF	Daily		AM Peak		PM Peak	
		Rate	Trips	Rate	Trips	Rate	Trips
Maximum Development Potential Based on Existing FLU							
Single Family Residential (ITE 210)*	540*	9.57	5,168	.75	405	1.01	545
Light Industrial	4,143,863**	6.97	28,883	.92	3,812	.97	4,020
Total	-	-	34,051	-	4,217	-	4,565

*Based on maximum density for Rural Fringe Future Land Use Designation

**Based on 50% of maximum square footage for light industrial uses in the Industrial Future Land Use Designation.

Land Use ¹ (ITE)	Units	Daily		AM Peak		PM Peak	
		Rate	Trips	Rate	Trips	Rate	Trips
Proposed							
Single Family Residential (ITE 210)	2,242	9.57	21,456	.75	1,681	1.01	2,264
Total	-	-	21,456	-	1,681	-	2,264

1. Source: Institute of Transportation Engineers: Trip Generation Manual 8th Edition

Conclusion: The proposed Future Land Use Amendment would result in a decrease of potential traffic at the subject property as set forth in the above traffic impact table. A traffic study for 2,100 single family residential units has been submitted and is being reviewed by City staff and the Florida Department of Transportation (FDOT) pursuant to the City's Traffic Study Guidelines that all roadway facilities shall operate at the required Level of Service as set forth in the Comprehensive Plan.

Potable Water & Sanitary Sewer Impacts

Potable Water and Sanitary Sewer will be provided by the Clay County Utility Authority (CCUA). CCUA provides water and wastewater services to most residents within the unincorporated county, as well as some local municipalities and a portion of Bradford County. According to their 2017 Evaluation and Appraisal Report, Clay County determined the regional facilities serving the county are capable of meeting projected demand through 2040.

Potable Water Impacts

System Category	Gallons Per Day (GPD)
Current Permitted Capacity ¹	34,000,000
Less Actual Water Flows	11,900,000
Projected Potable Water Demand from Proposed Project ¹	697,262

1. Source: Clay County 2040 Comprehensive Plan Exhibit C Community Facilities Element. Formula Used: 2242 dwelling units x 311 gallons per day

Conclusion: The project shall be served by the Clay County Utility Authority (CCUA). CCUA has adequate capacity for the proposed demand. The City has approved an agreement with CCUA to provide temporary service for up to 300 units until such time as CCUA has the facilities in place to serve the development.

Sanitary Sewer Impacts

System Category	Gallons Per Day (GPD)
Projected Wastewater Demand from Proposed Project ²	625,518

1. Source: Clay County 2040 Comprehensive Plan Exhibit C Community Facilities Element. Formula Used: 2242 dwelling units x 279 gallons per day

Conclusion: The project shall be served by the Clay County Utility Authority (CCUA). CCUA shall add an additional phase to the Governor's Park Plant in order to serve this development. The City has approved an agreement with CCUA to provide temporary service for up to 300 units until such time as CCUA has the facilities in place to serve the development.

Recreation Impacts

The Developer will be required to provide 5 acres of Recreational Space per 1,000 persons projected. Assuming the property is developed with the maximum number of single-family dwellings allowed per the proposed future land use, 2,242 units, with 2.72 persons per dwelling unit, the minimum required Recreational Space the developer would need to provide would be 30.5 acres.

Solid Waste Impacts

System Category	LBs Per Day / Tons per Year
Solid Waste Generated by Proposed Project ¹	17,806,860.8 lbs. / 8,903.43 tons
Solid Waste Facility Capacity ²	Minimum 3 Years Capacity

1. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: (2242 dwelling units x 2.72 persons per dwelling unit x 8 lbs. per day) x 365

2. Source: Clay County Comprehensive Plan

Conclusion: The City of Green Cove Springs' solid waste is disposed of at the Rosemary Hill Solid Waste Management Facility operated by Clay County. Per the Clay County Comprehensive Plan, a minimum of three (3) years capacity shall be maintained at the County's solid waste management facility. The estimated

impacts from the proposed development are not expected to negatively impact the City's adopted LOS or exceed the County solid waste management facility's capacity.

Public School Facilities Impact

Conclusion: The School District of Clay County has provided a school capacity determination which is included in this document. The report shows that there is no capacity for Elementary Schools and partial capacity for Junior High Schools with the School Concurrency Service Areas.

STAFF RECOMMENDATION

Staff recommends approval of the Future Land Use Amendment from Rural Fringe (County) and Industrial (County) to Residential Low Density.

Staff recommends approval of the Site-Specific Policy Amendment regarding development restrictions for the proposed Future Land Use Amendment.



Clay County District Schools
Development Review
Impact study dated: 22 April 2021

Project Name: Ayrshire PUD

Property Address: Green Cove Springs

Owner/Developer:

Dwelling Type	Dwelling units	Impact Fee	Impact Fee extended	Student Generation Rate: Ed Fac Plan 2020-2021			
Single Family	1886	\$7,034	\$13,266,124	0.2122	0.0644	0.1333	
MultiFam attached	214	\$3,226	\$690,364	0.1238	0.0417	0.0822	

SCHOOL CONCURRENCY SERVICE AREAS (SCSA) ANALYSIS

School	School Capacity (FISH)	LOS Capacity (110%)	Students Enrolled (Mar '21)	Reserved plus contiguous service area	Available Capacity	Project's Impact	Seats to Mitigate	Bus required
CE Bennett ES	804	884	640	24	No	422	202	Y
Green Cove Spgs JH	922	1014	812	177	No	130	105	Y
Clay High School	1892	2081	1688	517	No	270	270	Y

CONTIGUOUS
(SCSA)

School	School Capacity (FISH)	LOS Capacity (110%)	Students Enrolled (Mar '21)	Reserved plus contiguous service area	Available Capacity	Project's Impact	Seats to Mitigate	Bus required
Paterson ES	1105	1216	1140	136	No	422	422	
Lake Asbury JH	1334	1467	1081	265	Partial	130	9	
Fleming Isl HS	2375	2612	2160	61	Yes	270	0	

There is No (Senior High) or Partial capacity (Elementary, Junior High) within the SCSA.

There is No capacity for Elementary School within the Contiguous SCSA, there is partial capacity within the contiguous SCSA for JH and there is capacity within the contiguous SCSA for high school. To move forward with Concurrency; proportionate share mitigation terms agreed to by the applicant should be initiated.

Capacity figures from the table above will be reflected in subsequent updates to each school Development Review

James F. Fossa
Coordinator; Planning and Intergovernmental Affairs
School Board of Clay County
Ph: (904) 284-6516 e-mail: james.fossa@myoneclay.net

April 5, 2021

VIA ELECTRONIC MAIL

Michael Daniels, AICP
Planning and Zoning Director
City of Green Cove Springs
321 Walnut Street
Green Cove Springs, Florida 32043
mdaniels@greencovesprings.com

Re: Responses to Comments for Ayrshire Future Land Use Amendment, Planned Unit Development and Development Agreement

Dear Michael:

On behalf of our client, D.R. Horton, Inc. – Jacksonville (the “Applicant”), the contract purchaser of approximately 561 acres (the “Property”) located east of County Road 15A, north and west of U.S. Highway 17 and south of the current corporate limits of Green Cove Springs, we offer the following responses to City of Green Cove Springs staff comments on the above-referenced applications.

FUTURE LAND USE AMENDMENT

1. The proposed site density based on 2,100 units on 560.52 acres is 3.74 du/acre. Please increase the number of units by 143 to meet the minimum density requirements for the Residential Medium Density Land Use District which is >4 to 8 units per acre.

RESPONSE: The Applicant has determined to change the requested Future Land Use Map designation for the Property to Residential Low Density. A revised Comprehensive Plan Amendment application and a revised Comprehensive Plan Amendment Consistency Analysis (in clean and redline forms) are enclosed.

PLANNED UNIT DEVELOPMENT

1. Provide typical renderings of the types of residential single family and multifamily dwelling units.

RESPONSE: Please see the enclosed conceptual renderings. Please note that these renderings are conceptual and subject to change with City regulation amendments and market conditions.

2. Revise section E. as follows:

Minimum setbacks for Single Family:

Front Yard: 20'; 10' for secondary frontage with no vehicular access for corner lots

Rear Yard: 10'

Side Yard: 7.5'

Minimum lot size: 4,500

Minimum lot width: 45'

Lot Coverage for the property shall be 35%

Impervious Surface: 50% for the property

RESPONSE: Please see the enclosed revised PUD text, which is provided in clean and redline versions. As previously communicated to the City staff, the Applicant proposed lot widths from 40 to 60 feet.

3. Revise paragraph E to include that all single-family homes shall have an enclosed garage that is a minimum of 200' (10'*20'). Provide typical renderings, images of recreational areas.

RESPONSE: Please see the enclosed revised PUD text.

4. Provide guest parking areas.

RESPONSE: Guest parking is already addressed in the PUD text for multi-family units. No specific guest parking will be provided for single-family units, except in driveways.

5. Off-site signs are prohibited (Paragraph E3a). What is the purpose of project identification signage vs. Residential signage?

RESPONSE: Please see the enclosed revised PUD text.

6. Revise Signage section so that signs shall be a maximum of 12' in height and comply with the sign area requirements of Sec. 125-13.5.

RESPONSE: Please see the enclosed revised PUD text.

7. Revise paragraph G.1. to state that the master stormwater plan for the entire development shall be approved prior to the approval of the first final plat.

- a) **Revise G. 3 to state that an 8' multiuse path shall be provided along entry roadway from CR 15 A to US 17 and through the development to Jersey Avenue.**

RESPONSE: Please see the enclosed revised PUD text.

- b) **Revise G.3. to state that sidewalks shall also connect to and around all interior parks and wetland.**

RESPONSE: Please see the enclosed revised PUD text. Sidewalks will connect to all project parks but not around wetland systems.

- c) **Revise G-4 to state that if the Regional Park is not constructed then additional park land meeting the requirements of Future Land Use Policy 6.3.4 shall be provided on a revised PUD Conceptual Plan. Final determination of the Regional Park shall be determined prior to project commencement as defined in Paragraph K of this agreement.**

RESPONSE: Please see the enclosed revised PUD text. The project will provide parks in conformance with Comprehensive Plan Policy 6.3.4.

- d) **Compliance with the requirements set forth in Subdivision V. Guarantees and Sureties, Division 5 of Chapter of the City’s Land Development Code**

RESPONSE: The project will comply with all applicable provisions of the City Land Development Code except as set forth in the PUD ordinance and exhibits.

- e) **Add #7 under G. Infrastructure that states all transportation systems shall comply with Chapter 113, Article II, Division 2 of the City Land Development Code unless specifically stated in the PUD development summary/criteria.**

RESPONSE: Please see the enclosed revised PUD text.

8. Revise Landscaping and buffering standards:

- a) **Provide a note that Street trees for all other roadways including Jersey Avenue shall follow the landscape standards set forth in Land Development Code Section 113-244(c, d & e).**

RESPONSE: Please see the enclosed revised PUD text.

- b) **Provide a note that parking lot areas shall meet the landscape requirements set forth in Land Development Code Section 113-246**

RESPONSE: Please see the enclosed revised PUD text.

- c) **Provide a note that a tree survey showing all existing trees 12” or larger and show which trees are to be saved and removed. Tree replacement and credit are set forth in Sec. 113-279 of the City Land Development Code.**

RESPONSE: Please see the enclosed revised PUD text.

- d) **Provide a note that a canopy tree a minimum of 2.5” dbh at time of planting shall be planted on each single-family lot prior to the issuance of a Certificate of Occupancy. The tree shall be irrigated through the establishment period.**

RESPONSE: Please see the enclosed revised PUD text.

9. Temporary Uses:

- a) **Revise section I to clarify that permits for model homes can be built during infrastructure construction but cannot be CO'd prior to completion of infrastructure construction.**

RESPONSE: Please see the enclosed revised PUD text.

- b) **Model homes are required to meet the building code requirements for a business occupancy.**

RESPONSE: Please see the enclosed revised PUD text.

10. Accessory Uses:

- a) **Revise "home offices" to home occupations and have them comply with LDC 117-789.**

RESPONSE: Please see the enclosed revised PUD text.

- b) **Provide a note that all accessory uses (including pools) shall comply with criteria set forth in section E (setbacks, lot coverage etc).**

RESPONSE: Please see the enclosed revised PUD text.

- c) **Add the following regulations regarding Mother-in-law suites:**

- (1) **The unit shall be accessory to and on the same property as a single-family dwelling unit**
- (2) **The unit shall be developed in conjunction with or after development of the principal dwelling unit and the owner of the property must reside within either the principal or the accessory dwelling unit.**
- (3) **Not more than one (1) accessory dwelling unit per single family residential lot is permitted.**
- (4) **No accessory dwelling unit shall be sold separately from the principal dwelling unit. The accessory dwelling unit and the principal dwelling unit shall be located on a single lot or parcel, or on a combination of lots or parcels.**
- (5) **The air-conditioned floor area of the accessory dwelling unit shall not exceed 50% of the air-conditioned floor area of the principal structure, The accessory dwelling unit shall be no less than 200 square feet of air-conditioned floor area.**
- (6) **The unit shall meet the site development criteria specified in Paragraph E.**
- (7) **The unit shall be designed so that the exterior façade material is similar in appearance (material and color) of the existing principal structure.**
- (8) **A minimum of one (1), but not more than two (2) parking spaces shall be provided for the accessory dwelling unit, in addition to the spaces required for the principal dwelling unit.**
- (9) **Construction of the accessory dwelling unit, in combination with all structures on the property, shall not cause the maximum lot coverage of this zoning district to be exceeded.**
- (10) **The accessory dwelling unit shall be serviced by centralized water and wastewater.**
- (11) **An accessory dwelling unit shall be treated as a multi-family unit for impact fees.**

RESPONSE: Please see the enclosed revised PUD text.

11. Many of the block lengths are exceeding 2,200 lineal feet. Plan shall be revised to incorporate chicanes, roundabouts or other traffic calming devices in those areas.

RESPONSE: Please see the enclosed revised Conceptual Development Plan.

12. Delineate the wetland acreage from the total acreage of the existing pond and the rough wetland impact and existing pond impact on the conceptual PUD Plan.

RESPONSE: Please see the enclosed revised Conceptual Development Plan.

13. Provide a more detailed Conceptual PUD Plan showing at minimum the following:

- **Roadways**
- **Existing and proposed Drainage Retention Areas**
- **Park Areas (with acreages)**
- **Environmental Areas**

RESPONSE: Please see the enclosed revised Conceptual Development Plan

14. Provide a landscape plan for the entire PUD:

- **Show street trees along roadways**
- **Show buffer adjacent to Martin Marietta site**
- **Show landscaping along US 17 and CR 15 A**

RESPONSE: The enclosed revised Conceptual Development Plan shows the buffer adjacent to the Martin Marietta site. Additional detail regarding landscaping has been added to the revised PUD text. It is too early in the planning process for the Applicant to provide landscape plans for the entire PUD.

DEVELOPMENT AGREEMENT

1. Revise section 4 and add the following language: Certificate of Occupancies shall be limited to 231 residential units prior to the completion of the flyover roadway to US 17 or a new traffic study shall be completed.

RESPONSE: Please see the enclosed revised Development Agreement, which is provided in clean and redline forms.

2. Revise section 4 and add the following language: An interim traffic study addressing traffic distribution shall be required every 5 years. The interim traffic study shall be completed by the Developer and examine project traffic distribution and its impact on segment and intersection analysis to determine if additional mitigation requirements are required.

RESPONSE: Please see the enclosed revised Development Agreement.

3. Address the issue of temporary water/sewer capacity to be provided by the City in #3, Public Facility Improvements.

RESPONSE: Please see the enclosed revised Development Agreement.

4. Add Subsection D. to paragraph 3 regarding the Public Facility Improvements that the developer shall be required to construct a 2,000 square foot Police Substation and accessory uses such as parking, drainage etc. subject to State and Local development requirements.

RESPONSE: Please see the enclosed revised Development Agreement.

5. Revise 5 B. to state that the proposed school site is not located within the City limits and a separate agreement between the School Board and the Developer is required to be completed prior to project commencement regarding the property or any portion thereof.

RESPONSE: Please see the enclosed revised Development Agreement.

6. Add the following language for paragraph 6 regarding the Park Contribution. If the construction of improvements for Gustafson Regional Park does not occur, the per unit fee will not apply and the Conceptual PUD Plan shall be revised to ensure that the required recreational facilities as required per Future Land Use policy 6.3.4 shall be provided on the subject property.

RESPONSE: Please see the enclosed revised Development Agreement. Please note that the companion PUD text has been revised to ensure the project's compliance with Comprehensive Plan policy 6.3.4.

7. Development Timing: Revise paragraph 7 to include the following language:
a. Development Commencement shall occur no later than December 31, 2024. After development commencement has occurred, there shall be development activity, which is defined as active building permits for residential and nonresidential development over a 5-year period. Failure to comply with the commencement deadline or the lack of development activity over a 5-year period, shall cause the agreement to expire and any entitlements thereto be eliminated.

RESPONSE: The Applicant has revised the Development Agreement to ensure that plans for the first portion of the project are submitted by December 31, 2024. The Applicant has no control over real estate market conditions and cannot guarantee that there will be continuous active building permits for any period of time. It is certainly the Applicant's business plan to construct homes on the Property as quickly as possible.

8. Revise all references to County providing water and wastewater services to the Clay County Utility Authority (CCUA).

RESPONSE: Please see the enclosed revised Development Agreement.

We appreciate your continued assistance with this project.

Sincerely yours,



Ellen Avery-Smith

cc: Brenna Malouf-Durden
Bob Porter
John Gislason
Anthony Sharp
Vince Dunn



FOR OFFICE USE ONLY

P Z File # _____

Application Fee: _____

Filing Date: _____ Acceptance Date: _____

Review Date: SRDT _____ P & Z _____ CC _____

Comprehensive Plan Amendment Application

A. PROJECT

1. Project Name: Ayrshire
2. Address of Subject Property: County Road 15A
3. Parcel ID Number(s): 38-06-26-016515-000-0 (portion)
4. Existing Use of Property: Agriculture
5. Future Land Use Map Designation: Rural Fringe/Industrial (Clay County)
6. Existing Zoning Designation: Agriculture/Industrial (Clay County)
7. Proposed Future Land Use Map Designation: Residential Low Density (RLD)
8. Acreage: 561

B. APPLICANT

1. Applicant's Status Owner (title holder) Agent
2. Name of Applicant(s) or Contact Person(s): Bob Porter, John Gislason Title: _____
 Company (if applicable): D.R. Horton, Inc. - Jacksonville
 Mailing address: 4220 Race Track Road
 City: St. Johns State: Florida ZIP: 32259
 Telephone: 904-421-4612 FAX: () _____ e-mail: jrgislason@drhorton.com
3. If the applicant is agent for the property owner*
 Name of Owner (title holder): Gustafson's Cattle, Inc.
 Mailing address: PO Box 600337
 City: Jacksonville State: Florida ZIP: 32260
 Telephone: () _____ FAX: () _____ e-mail: _____

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contract for sale of, or options to purchase, the subject property?
 Yes No If yes, list names of all parties involved:
 If yes, is the contract/option contingent or absolute?
 Contingent Absolute

D. ATTACHMENTS (One copy reduced to no greater than 11 x 17, plus one copy in PDF format.)

1. Statement of proposed change, including a map showing the proposed Future Land Use Map change and Future Land Use Map designations on surrounding properties
2. Concurrency Impact Analysis which considers the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools.
3. Needs Analysis which demonstrates the necessity of the proposed change. This analysis may consist, in whole or part, of a market impact study or real estate needs analysis.
4. Analysis of Consistency with the City of Green Cove Springs Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy.)
5. A current aerial map (Maybe obtained from the Clay County Property Appraiser.)
6. Legal description with tax parcel number.
7. Boundary survey
8. Vicinity Map
9. Warranty Deed or the other proof of ownership
10. Fee.
 - a. Future Land Use Map Amendments - \$1,500 plus \$20 per acre
 - b. Text Amendment to Comprehensive Plan - \$1,500 per element
 - c. All applications are subject 10% administrative fee and must pay the cost of postage, signs, advertisements, and the fee for any outside consultants.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 10 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

Ellen Avery Smith
Signature of Applicant

Signature of Co-applicant

Ellen Avery Smith
Typed or printed name and title of applicant

Typed or printed name of co-applicant

April 5, 2021
Date

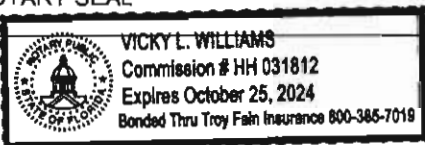
Date

State of Florida County of St. Johns

The foregoing application is acknowledged before me this 5th day of April, 2021, by Ellen

Avery-Smith who is/are personally known to me, or who has/have produced _____
as identification.

NOTARY SEAL



Vicky L. Williams
Signature of Notary Public, State of Florida

D. ATTACHMENTS (One copy reduced to no greater than 11 x 17, plus one copy in PDF format.)

1. Statement of proposed change, including a map showing the proposed Future Land Use Map change and Future Land Use Map designations on surrounding properties
2. Concurrency Impact Analysis which considers the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools.
3. Needs Analysis which demonstrates the necessity of the proposed change. This analysis may consist in whole or part, of a market impact study or real estate needs analysis.
4. Analysis of Consistency with the City of Green Cove Springs Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the stated Goal, Objective, or Policy.)
5. A current aerial map (Maybe obtained from the Clay County Property Appraiser.)
6. Legal description with tax parcel number
7. Boundary Survey
8. Vicinity Map
9. Warranty Deed or the other proof of ownership
10. Fee.
 - a. Future Land Use Map Amendments - \$1,500 plus \$20 per acre
 - b. Text Amendment to Comprehensive Plan - \$1,500 per element
 - c. All applications are subject 10% administrative fee and must pay the cost of postage, signs, advertisements, and the fee for any outside consultants.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 10 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/we certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

Signature of Applicant: [Signature]
 John E. Zakoske
 Vice President
 Date: 11/25/2020
 State of Florida County of St. Johns

Signature of Co-applicant: _____
 Eton Avery-Smith, Esq. of Rogers Towers, P.A.
 Typed or printed name of co-applicant: _____
 Date: _____

The foregoing application is acknowledged before me this 25th day of November, 2020 by John E. Zakoske

_____, who is/are personally known to me, or who has/have produced _____
 as identification.

NOTARY SEAL: [Signature]
 Signature of Notary Public, State of FL



ANN MARIE FORMEL
 Commission # 00941302
 Expires April 28, 2024
 Contact: 321.282.9199/Notary Services

City of Green Cove Springs Development Services Department 4321 West Street Green Cove Springs, FL 32043(904) 297-7300


City of Green Cove Springs, Florida
Comprehensive Plan Amendment Application 2021
Supplemental Information

Co-Applicant:

Ellen Avery-Smith, Esq. of Rogers Towers, P.A.
100 Whetstone Place, Suite 200
St. Augustine, Florida 32086
Phone: 904.825.1615
Email: EAverySmith@rtlaw.com



PROPERTY OWNER AFFIDAVIT

Owner Name: Gustafson's Cattle, Inc.	
Address: PO Box 600337, Jacksonville, FL 32260	Phone:
Agent Name: Ellen Avery-Smith, Esq. of Rogers Towers, P.A. & D.R. Horton, Inc. - Jacksonville	
Address: c/o 100 Whetstone Place, Suite 200, St. Augustine, FL 32085	Phone: 904-825-1615
Parcel No.: 38-06-26-016515-000-0	
Requested Action: Application for Comprehensive Plan Amendment	
<p>I hereby certify that:</p> <p>I am the property owner of record. I authorize the above listed agent to act on my behalf for the purposes of this application.</p> <p>Property owner signature: <u><i>Edwin S. Gustafson III</i></u></p> <p>Printed name: <u>Edwin S. Gustafson III</u></p> <p>Date: <u>10/8/2020</u></p> <p>The foregoing affidavit is acknowledged before me this <u>8th</u> day of <u>OCT</u>, 2020 by <u>EDWIN S. GUSTAFSON III</u>, who is/are personally known to me, or who has/have produced <u>A FLORIDA DRIVER'S LIC. G281-217-68-338-D</u> as identification.</p>	
 <p>Larry A. Hunt State of Florida Commission Expires 11/22/2021 Commission No. GG 155171</p>	<p><u><i>[Signature]</i></u> Signature of Notary Public, State of <u>FL</u></p>

ORDINANCE O-XX-2021

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, AMENDING THE COMPREHENSIVE PLAN OF GREEN COVE SPRINGS, FLORIDA, BY ADDING FUTURE LAND USE OBJECTIVE 1.14 TO ADD SITE SPECIFIC DEVELOPMENT CONDITIONS FOR NEW DEVELOPMENT PROJECTS; AND ADDING FUTURE LAND USE POLICY 1.14.1 REGARDING SITE SPECIFIC DEVELOPMENT CONDITIONS RELATED TO THE AYRSHIRE RESIDENTIAL PROJECT SPECIFICALLY IDENTIFIED IN ATTACHMENT "A"; PROVIDING FOR REPEALER, SEVERABILITY AND SETTING AN EFFECTIVE DATE.

WHEREAS, Chapter 166, Florida Statutes, empowers the City Council of Green Cove Springs to prepare and enforce a Comprehensive Plan for the development of the City; and

WHEREAS, Sections 163.3161 through 163.3215, Florida Statutes, the Local Government Comprehensive Planning and Land Development Regulation Act, empowers and requires the City Council of Green Cove Springs to (a) plan for the City's future development and growth; (b) adopt and amend Comprehensive Plans, or elements or portions thereof, to guide the future growth and development of the City, (c) implement adopted or amended Comprehensive Plans by the adoption of appropriate land development regulations; and (d) establish, support, and maintain administrative instruments and procedures to carry out the provisions and purpose of the action; and

WHEREAS, the City Council believes adding site specific policies for Future Land Use Amendments related to new development projects are necessary to ensure the quality of life; and

WHEREAS, the City Council believes adding a site-specific policy related to Future Land Use Amendment Application #202001175 Use is necessary to ensure the City's adopted Level of Service quality of life and to ensure compatibility with surrounding uses; and

WHEREAS, the City Council has been established pursuant to Article II of the City Charter of the City of Green Cove Springs duly adopted July 15, 1980; and

WHEREAS, the City Council, empowered by the above-cited laws and ordinances, and by Sections 163.3161 through 163.3215, Florida Statutes, prepared an amendment to the Comprehensive Plan 2025 to address more adequately and prepare for Green Cove Springs' future development and growth; and

WHEREAS, in exercise of its authority, the City Council of Green Cove Springs has determined it necessary and desirable to adopt the amendments to the Comprehensive Plan 2025 as identified in Attachment "A", to encourage the most appropriate use of land, water and resources, consistent with the public interest; to deal effectively with future problems that may result from the use and development of land within Green Cove Springs.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, AS FOLLOWS:

Section 1. Purpose and Intent. This Ordinance is enacted to carry out the purpose and intent and exercise the authority set out in the Local Government Comprehensive Planning

and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes, and Chapter 166, Florida Statutes, as amended.

Section 2. Adoption of Future Land Use Element Objective 1.14 and Policy 1.14.1, for the Comprehensive Plan 2025. The City Council of Green Cove Springs hereby adopts Future Land Use Element Objective 1.14 and Policy 1.14.1 of the Green Cove Springs Comprehensive Plan 2025 as specified in Attachment "A" attached hereto and by reference made a part hereof.

Section 3. Applicability and Effect. The applicability and effect of the amendments to the Green Cove Springs Comprehensive Plan 2025 shall be as provided by the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes, and this Ordinance.

Section 4. Copy on file.

(a) A certified copy of the enacting ordinance, as well as certified copies of the amendments to the City of Green Cove Springs' Comprehensive Plan 2025 and any amendments thereof, shall be filed with the City Clerk of Green Cove Springs.

(b) To make amendments to the Comprehensive Plan 2025 available to the public, a certified copy of the enacting ordinance, as well as certified copies of the amended City of Green Cove Springs Comprehensive Plan 2025 and any amendments thereto, shall be located in the Planning and Zoning Department of the City of Green Cove Springs and shall be available to the public for a reasonable publication charge.

Section 5. Repealer. All ordinances or part of Ordinances in conflict herewith be and the same are hereby repealed.

Section 6. Severability. If any portion or portions of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional or unenforceable, then all remaining provisions of this Ordinance shall remain in full force and effect.

Section 7. Effective Date. If this ordinance becomes effective, the effective date of the comprehensive plan text amendment adopted hereby shall be the later of:

a. The date that the amendment to the local government's future land use map that is the subject of Case No. 202001175/Ordinance No. O-07-2021 becomes effective; or

b. If this amendment is not timely challenged, the effective date shall be 31 days after the state land planning agency notifies the local government that this plan amendment package is complete. If timely challenged, this amendment shall become effective on the date the state land planning agency or the Administration Commission enters a final order determining this adopted amendment to be in compliance. No development orders, development permits, or land uses dependent on this amendment may be issued or commence before it has become effective. If a final order of noncompliance is issued by the Administration Commission, this amendment may nevertheless be made effective by adoption of a resolution affirming its effective status, a copy of

which resolution shall be sent to the state land planning agency at 107 East Madison Street, MSC 160, Tallahassee, Florida 32399-4120.

INTRODUCED AND PASSED AS TO FORM ONLY ON THE FIRST READING BY THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA, THIS ___ DAY OF _____, 2021.

CITY OF GREEN COVE SPRINGS, FLORIDA

By: _____
B. Van Royal, Mayor

ATTEST: _____
Erin West, City Clerk

ATTACHMENT “A”

Objective 1.14 The City shall adopt, as necessary, Future Land Use Map Amendments with specific development conditions that are consistent with the City’s adopted Level of Service (LOS) standards and Future Land Use Element, and compatible with the surrounding uses.

Policy 1.14.1: Future Land Use Map (FLUM) Amendment Application #202001173 was adopted by Ordinance Number O-07-2021 on Mm/dd/2021 for that portion of property within Clay County Parcel Identification No. 38-06-26-016515-000-00 located east of County Road 15A and west of U.S. Highway 17 (the “Property”) and changed the future land use designation from County Industrial and County Rural Fringe to Residential Low Density. The Property shall meet the requirements of all applicable goals, objectives, policies and map designations of the Comprehensive Plan; provided, however, land use/development potential for the Property made available by FLUM Amendment Application #202001173 is hereby limited as follows:

1. The Property shall be developed in accordance with a Planned Unit Development, as may be approved by the City in accordance with the City’s Land Development Regulations in effect at the time of the PUD application.
2. Recreational facilities shall be provided commensurate with the City’s Level of Service standard for Recreation set forth in the Recreation and Open Space Element, Policy 6.3.4, of the Comprehensive Plan in effect at the time of the PUD application.
3. Coincident with horizontal construction for the first residential subdivision within the Property, the Property owner/developer shall partner with the City regarding the development of the Gustafson Regional Park. The details of such park development partnership shall be set forth in a development agreement for the Property as may be agreed to by and between the City and the Property owner/developer concurrently with the Property being annexed into the City boundaries (the “Development Agreement”). The Property owner/developer’s contribution to the Gustafson Regional Park shall apply toward the project’s required recreational facilities, per Policy 6.3.4 of the Recreation and Open Space Element of the Comprehensive Plan.
4. The Property owner/developer will be required to provide the traffic mitigation agreed upon between the City and the Property owner/developer, based on the traffic analysis provided by the Property owner/developer. Such required traffic mitigation and other public facility improvements related to development of the Property will be set forth in the Development Agreement. Any required project mitigation shall be in conformance with applicable provisions of the City’s Code of Ordinances and with Section 163.3180, Florida Statutes).
5. Silvicultural and agricultural activities on that portion of the Property zoned Agriculture pursuant to the County’s Zoning Map (approximately 180 acres) in existence as of the effective date of Ordinance O-08-2021 shall be allowed until such time as horizontal construction begins on the Property or any portion thereof for the uses approved in the PUD.

ORDINANCE O-XX-2021

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, AMENDING THE COMPREHENSIVE PLAN OF GREEN COVE SPRINGS, FLORIDA, BY ADDING FUTURE LAND USE OBJECTIVE 1.14 TO ADD SITE SPECIFIC DEVELOPMENT CONDITIONS FOR NEW DEVELOPMENT PROJECTS; AND ADDING FUTURE LAND USE POLICY 1.14.1 REGARDING SITE SPECIFIC DEVELOPMENT CONDITIONS RELATED TO THE ~~GUSTAFSON ACTIVITY—CENTER~~AYRSHIRE AND RESIDENTIAL PROJECT SPECIFICALLY IDENTIFIED IN ATTACHMENT “A”; PROVIDING FOR REPEALER, SEVERABILITY AND SETTING AN EFFECTIVE DATE.

WHEREAS, Chapter 166, Florida Statutes, empowers the City Council of Green Cove Springs to prepare and enforce a Comprehensive Plan for the development of the City; and

WHEREAS, Sections 163.3161 through 163.3215, Florida Statutes, the Local Government Comprehensive Planning and Land Development Regulation Act, empowers and requires the City Council of Green Cove Springs to (a) plan for the City's future development and growth; (b) adopt and amend Comprehensive Plans, or elements or portions thereof, to guide the future growth and development of the City, (c) implement adopted or amended Comprehensive Plans by the adoption of appropriate land development regulations; and (d) establish, support, and maintain administrative instruments and procedures to carry out the provisions and purpose of the action; and

WHEREAS, the City Council believes adding site specific policies for Future Land Use Amendments related to new development projects are necessary to ensure the quality of life; and

WHEREAS, the City Council believes adding a site-specific policy related to Future Land Use Amendment Application #202001175 Use is necessary to ensure the City's adopted Level of Service quality of life and to ensure compatibility with surrounding uses; and

WHEREAS, the City Council has been established pursuant to Article II of the City Charter of the City of Green Cove Springs duly adopted July 15, 1980; and

WHEREAS, the City Council, empowered by the above-cited laws and ordinances, and by Sections 163.3161 through 163.3215, Florida Statutes, prepared an amendment to the Comprehensive Plan 2025 to address more adequately and prepare for Green Cove Springs' future development and growth; and

WHEREAS, in exercise of its authority, the City Council of Green Cove Springs has determined it necessary and desirable to adopt the amendments to the Comprehensive Plan 2025 as identified in Attachment “A”, to encourage the most appropriate use of land, water and resources, consistent with the public interest; to deal effectively with future problems that may result from the use and development of land within Green Cove Springs.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, AS FOLLOWS:

Section 1. Purpose and Intent. This Ordinance is enacted to carry out the purpose and intent and exercise the authority set out in the Local Government Comprehensive Planning

and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes, and Chapter 166, Florida Statutes, as amended.

Section 2. Adoption of Future Land Use Element Objective 1.14 and Policy 1.14.1, for the Comprehensive Plan 2025. The City Council of Green Cove Springs hereby adopts Future Land Use Element Objective 1.14 and Policy 1.14.1 of the Green Cove Springs Comprehensive Plan 2025 as specified in Attachment "A" attached hereto and by reference made a part hereof.

Section 3. Applicability and Effect. The applicability and effect of the amendments to the Green Cove Springs Comprehensive Plan 2025 shall be as provided by the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes, and this Ordinance.

Section 4. Copy on file.

(a) A certified copy of the enacting ordinance, as well as certified copies of the amendments to the City of Green Cove Springs' Comprehensive Plan 2025 and any amendments thereof, shall be filed with the City Clerk of Green Cove Springs.

(b) To make amendments to the Comprehensive Plan 2025 available to the public, a certified copy of the enacting ordinance, as well as certified copies of the amended City of Green Cove Springs Comprehensive Plan 2025 and any amendments thereto, shall be located in the Planning and Zoning Department of the City of Green Cove Springs and shall be available to the public for a reasonable publication charge.

Section 5. Repealer. All ordinances or part of Ordinances in conflict herewith be and the same are hereby repealed.

Section 6. Severability. If any portion or portions of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional or unenforceable, then all remaining provisions of this Ordinance shall remain in full force and effect.

Section 7. Effective Date. If this ordinance becomes effective, the effective date of the comprehensive plan text amendment adopted hereby shall be the later of:

a. The date that the amendment to the local government's future land use map that is the subject of Case No. 202001175/Ordinance No. O-07-2021 becomes effective; or

b. If this amendment is not timely challenged, the effective date shall be 31 days after the state land planning agency notifies the local government that this plan amendment package is complete. If timely challenged, this amendment shall become effective on the date the state land planning agency or the Administration Commission enters a final order determining this adopted amendment to be in compliance. No development orders, development permits, or land uses dependent on this amendment may be issued or commence before it has become effective. If a final order of noncompliance is issued by the Administration Commission, this amendment may nevertheless be made effective by adoption of a resolution affirming its effective status, a copy of

which resolution shall be sent to the state land planning agency at 107 East Madison Street, MSC 160, Tallahassee, Florida 32399-4120.

**INTRODUCED AND PASSED AS TO FORM ONLY ON THE FIRST READING
BY THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA, THIS ___ DAY OF ___
_____, 2021.**

CITY OF GREEN COVE SPRINGS, FLORIDA

By: _____
B. Van Royal, Mayor

ATTEST: _____
Erin West, City Clerk

ATTACHMENT "A"

Objective 1.14 The City shall adopt, as necessary, Future Land Use Map Amendments with specific development conditions that are consistent with the City's adopted Level of Service (LOS) standards and Future Land Use Element, and compatible with the surrounding uses.

Policy 1.14.1: Future Land Use Map (FLUM) Amendment Application #202001173 was adopted by Ordinance Number O-07-2021 on Mm/dd/2021 for that portion of property within Clay County Parcel Identification No. 38-06-26-016515-000-00 located east of County Road 15A and west of U.S. Highway 17 (the "Property") and changed the future land use designation from County Industrial and County Rural Fringe to Residential **MediumLow** Density. The Property shall meet the requirements of all applicable goals, objectives, policies and map designations of the Comprehensive Plan; provided, however, land use/development potential for the Property made available by FLUM Amendment Application #202001173 is hereby limited as follows:

1. The Property shall be developed in accordance with a Planned Unit Development, as may be approved by the City in accordance with the City's Land Development Regulations in effect at the time of the PUD application.
2. Recreational facilities shall be provided commensurate with the City's Level of Service standard for Recreation set forth in the Recreation and Open Space Element, Policy 6.3.4, of the Comprehensive Plan in effect at the time of the PUD application.
3. Coincident with horizontal construction for the first residential subdivision within the Property, the Property owner/developer shall partner with the City regarding the development of the Gustafson Regional Park. The details of such park development partnership shall be set forth in a development agreement for the Property as may be agreed to by and between the City and the Property owner/developer concurrently with the Property being annexed into the City boundaries (the "Development Agreement"). The Property owner/developer's contribution to the Gustafson Regional Park shall apply toward the project's required recreational facilities, per Policy 6.3.4 of the Recreation and Open Space Element of the Comprehensive Plan.
4. The Property owner/developer will be required to provide the traffic mitigation agreed upon between the City and the Property owner/developer, based on the traffic analysis provided by the Property owner/developer. Such required traffic mitigation and other public facility improvements related to development of the Property will be set forth in the Development Agreement. Any required project mitigation shall be in conformance with applicable provisions of the City's Code of Ordinances and with Section 163.3180, Florida Statutes).
5. Silvicultural and agricultural activities on that portion of the Property zoned Agriculture pursuant to the County's Zoning Map (approximately 180 acres) in existence as of the effective date of Ordinance O-08-2021 shall be allowed until such time as horizontal construction begins on the Property or any portion thereof for the uses approved in the PUD.

Large-Scale Comprehensive Plan Amendment Application

Ayrshire

(RLD)

Comprehensive Plan Amendment Consistency Analysis

November 30, 2020

Revised March 22, 2021

Revised April 1, 2021

Applicant Information:

Applicant: D.R. Horton - Jacksonville
Bob Porter, Anthony Sharp, John Gislason
4220 Race Track Road
Jacksonville, Florida 32259
(904) 268-2845

Legal: Rogers Towers, P.A.
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St. Augustine, Florida 32086
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**Planning/
Civil Engineering:** Dunn & Associates, Inc.
Vince Dunn, David Taylor
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Jacksonville, Florida 32256
(904) 363-8916

Environmental: Carter Environmental Services, Inc.
Ryan Carter
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St. Augustine, Florida 32084
(904) 540-1786

Traffic: Chindalur Traffic Solutions, Inc.
Rajesh Chindalur
8515 Baymeadows Way, Suite 401
Jacksonville, Florida 32256
(904) 422-6923

Project Overview

D.R. Horton - Jacksonville (“**Applicant**”) is the contract purchaser of approximately 561 acres located east of County Road 15A, west of U.S. Highway 17 South and south of State Road 16W (Green Cove Avenue) in unincorporated Clay County (the “**Property**”). The Property is the former site of Gustafson’s Dairy Farm, which closed in 2013 and is now abandoned. The Property is currently primarily used for silvicultural purposes. The Property has Clay County Parcel Identification No. 38-06-26-016515-000-00 and is currently owned by Gustafson’s Cattle Inc.

The Applicant is requesting to annex the Property into the City of Green Cove Springs and to change the Future Land Use Map (“**FLUM**”) designation of the Property to Residential Low Density (RLD). The Property is currently located within unincorporated Clay County and has existing FLUM designation of Rural Fringe and Industrial. The existing zoning district for the Property is Agricultural (AG) and Industrial Select (IS). Concurrently with this application, the Applicant has filed an application for voluntary annexation to have the Property included within the corporate limits of the City of Green Cove Springs (the “**City**”). The Applicant will also apply to rezone the Property to Planned Unit Development (the “**PUD**”).

The Applicant proposes to develop a residential project consisting of a maximum of 2,100 residential units, to include both single-family and multi-family units. A minimum of 70 percent of the units will be single-family homes. Proposed Future Land Use Map and Generalized Site Plan for the intended plan of development of the Property are enclosed with this application.

The Property is bordered on the north by vacant, recreational property owned by the City; on the east by railroad right-of-way and existing industrial uses; on the west by a mix of uses, including existing residential and agricultural uses; and to the south by vacant, agricultural and existing industrial uses. The proposed Ayrshire project is located near the First Coast Expressway, which is currently under construction.

The Property will be developed in one (1), 20-year phase. The Residential Low Density FLUM designation allows for residential density ranging from zero (0) units to four (4) dwelling units per acre. The Applicant is proposing a density of no more than four (4) units per developable acre within the Property.

The Generalized Site Plan illustrates how the Applicant has taken steps to preserve a majority of the on-site wetlands. The project will also provide a number of recreational fields with restrooms, a pool pavilion, a children’s playground, and parking to serve residents of the Ayrshire community. The Generalized Site Plan also shows site access, drainage and open space.

Project Benefits

A list of the project’s public benefits includes:

1. Providing much-needed housing for inventory in the City, with a variety of housing types and price points.

2. Constructing an access road to a City park site from U.S. Highway 17 to allow use of the land by City residents and others. The road will connect into the Property to provide residents with a second access road (the other access is County Road 15A).
3. Preservation of a majority of on-site wetlands.
4. Preservation of approximately 20 percent of the Property as open space, including green space and lakes.
5. Providing sidewalks and bike paths that interconnect off-site, which will be open to the public.
6. Providing parks for community residents and their guests.
7. Property taxes and other revenues generated will more than pay for public services for new residents.

Compatibility with Surrounding Uses

This Comprehensive Plan Amendment (“CPA”) application, along with the companion PUD rezoning application, will result in a maximum of 2,100 residential dwelling units, which supports the projected growing population of the City and Clay County by providing for more housing options for current and future residents.

The Property is located to the south of the existing City boundary, adjacent to or near lands with FLUM designation of Recreation. The Property is located adjacent to or near lands with Clay County FLUM designations of Agricultural (AG) and Agricultural/Residential (AR) to the west, and Heavy Industrial (IB) to the south and east. The surrounding neighborhood has a variety of lot sizes and residential types, as well as a mix of industrial uses.

The companion PUD rezoning application will allow for a more efficient use of the site in a manner that ensures compatibility with the surrounding uses. The proposed site plan has increased buffers to minimize the impact of this development to surrounding residential properties.

City of Green Cove Springs Comprehensive Plan Analysis and Project Justification

The following Comprehensive Plan Elements have Goals, Objectives and Policies that support this application to amend the FLUM designation of the Property to Residential Medium Density (RMD) and Gustafson Activity Center (GAC). The Comprehensive Plan text is in **bold** below, with consistency analysis in *italics* below each goal, objective and policy.

FUTURE LAND USE ELEMENT

Goal 1

To develop and maintain land use programs and activities to provide for the most appropriate use of the land and direct growth to suitable areas while protecting the public, health, safety and welfare.

The Property is currently within the boundaries of unincorporated Clay County. By annexing the Property into the City of Green Cove Springs, the Council will provide for additional, much-needed housing in an area suitable for growth. With the First Coast Expressway being built near the property, utility lines in place nearby and the adjacent railroad line, the proposed Ayrshire project is appropriate.

Objective 1.2

The City shall assure that future land uses have essential facilities and services which meet locally established levels of service (LOS) standards and adopted as part of the Capital Improvements Element (CIE).

Policy 1.2.1 The City shall ensure that development orders are conditioned upon the provision of essential facilities and services which meet the established level of service standards and necessary to serve the proposed development by reviewing each site plan/development proposal to ensure compliance with concurrency and do not go beyond LOS threshold.

The Property is currently undeveloped. The proposed development will not exceed the adopted level of service thresholds for public facilities. The Applicant will extend utility lines and public roads to serve the project and surrounding lands.

Policy 1.2.3 The City shall review proposed annexation requests to determine if potential development may impact services provided by the City and governed by its concurrency management system such that the adopted level of service would be negatively affected at the maximum development potential for the properties under the City's proposed land use category. The impacts calculated shall recognize credits based on the development potential under the existing County land use designation. Parcels that are determined to negatively impact the City's ability to maintain its adopted level of service based on existing and planned improvements shall be required to enter into an agreement with the City prior to approval of a final development order to mitigate impacts associated with the actual development plans consistent with the City's concurrency management system.

The Applicant will provide project roadway connection to County Road 15A and U.S. Highway 17 South, in the locations depicted on the Generalized Site Plan, and will extend water and sewer lines to the site. An existing railroad line runs adjacent to the site, for potential industrial use. The Applicant will provide parks to serve community residents and will construct an extension of the City's trail system that will be open to the public. The Applicant will preserve a majority of on-site wetlands as natural areas.

Objective 1.5

The City shall enforce innovative land development regulations for new developments, which protect the City's natural resources. Policies 1.5.1 Planned Unit Developments shall be encouraged to control growth and design.

Policy 1.5.1 Planned Unit Developments shall be encouraged to control growth and design.

This application to develop approximately 561 acres within the City will allow a maximum of 2,100 single-family and multi-family residential units. Through the concurrent Annexation Application, the tax parcel will be brought within the City limits, allowing growth to occur within the City. The proposed PUD zoning designation will allow for a more efficient use of the site in a manner that ensures compatibility with the surrounding area.

Objective 1.6

Future land use densities and intensities shall be in accordance with the Land Use Element.

Policy 1.6.1.(a)(1) Low Density Residential (>0 to 4 dwelling units per acre). This category consists primarily of single-family dwelling units on individual lots and accessory uses. Churches may also be included.

The companion PUD rezoning application proposes a maximum of 2,100 single-family and multi-family residential units. The proposed densities and intensities of use will not exceed that permitted within the applicable Future Land Use Map designation.

Objective 1.7

The City shall discourage the proliferation of urban sprawl through the appropriate land use.

The proposed Ayrshire project will discourage urban sprawl by annexing the Property into the City's corporate boundaries and providing a future land use designation appropriate for the area. With the First Coast Expressway being constructed near the Property, growth will occur in this area. Section 9J-5.003(134), Florida Administrative Code, defines urban sprawl as urban development or other uses which are located in predominantly rural areas, or rural areas interspersed with generally low-intensity or low-density uses. This site is located adjacent to the City limits, in an area with fairly high-density residential uses, along with commercial and industrial uses. The City has utility lines near the site, which can be extended by the Applicant to serve the project. U.S. Highway 17 and County Road 15A are existing collector roads that serve

the Property, and the First Coast Expressway will soon be available for travel. The proposed density of the project is not low-density, nor is it leapfrog or scattered development.

Policy 1.7.1 The location and timing of new development and the issuance of permits shall be coordinated with the availability of public facilities (including, but not limited to: central sewer, potable water, drainage, roads, and solid waste collection) through implementation of growth management measures such as infill development phasing, programming and appropriate over-sizing of public facilities and zoning and subdivision regulations.

The residential units within the Property can be easily served by the existing County Road 15A and U.S. Highway 17 South for access. The project will also be served by the future First Coast Expressway, which is under construction to the south. A rail line is located along the eastern boundary of the site. Project utilities will be provided as required by applicable provisions of the Code. The availability of water and sewer utilities in the City required to serve the initial phase of the project will be accessed at the time of design. The Applicant will extend all water and sewer lines to serve the Property and connect to CCUA once its new water and wastewater plants are completed.

Policy 1.7.2 The City Limits shall define the urban service area for land planning purposes. The City provides the same level of service to all of the properties within its boundaries and will consider its ability to offer the same level of service to properties under consideration for annexation prior to accepting additional lands into the City.

The Property is located adjacent to the existing city limits, and thus the City's urban service area boundary, and the Applicant has requested to include the site within said boundary via the pending annexation and CPA applications.

Policy 1.7.3 The City shall promote the annexation of property located within the Green Cove Springs utility service boundary.

The Property is located within the City's electricity grid. Historically, the City provided electricity to the Gustafson's plant on the project site.

Objective 1.10

The City may approve amendments to the Comprehensive Plan that are consistent with state law.

Upon the City's approval of the companion annexation application, the Property will be within the corporate boundaries of Green Cove Springs. Then City then has the legal authority to amend its Comprehensive Plan to give the Property the requested Residential Low Density future land use designation.

Objective 1.14 - PROPOSED

Objective 1.14 The City shall adopt, as necessary, Future Land Use Map Amendments with specific development conditions that are consistent with the City’s adopted Level of Service (LOS) standards and Future Land Use Element, and compatible with the surrounding uses.

Policy 1.14.1: Future Land Use Map (FLUM) Amendment 20-XXXX was adopted by Ordinance Number xxxxx on Mm/dd/2021 for that portion of property within Clay County Parcel Identification No. 38-06-26-016515-000-00 located east of County Road 15A and west of U.S. Highway 17 (the “Property”) and changed the future land use designation from County Industrial and County Rural Fringe to Residential Low Density. The Property shall meet the requirements of all applicable goals, objectives, policies and map designations of the Comprehensive Plan; provided, however, land use/development potential for the Property made available by FLUM Amendment XX-000X is hereby limited as follows:

- 1. The Property shall be developed in accordance with a Planned Unit Development, as may be approved by the City in accordance with the City’s Land Development Regulations in effect at the time of the PUD application.**
- 2. Recreational facilities shall be provided commensurate with the City’s Level of Service standard for Recreation set forth in the Recreation and Open Space Element, Policy 6.3.4, of the Comprehensive Plan in effect at the time of the PUD application.**
- 3. Coincident with horizontal construction for the first residential subdivision within the Property, the Property owner/developer shall partner with the City regarding the development of the Gustafson Regional Park. The details of such park development partnership shall be set forth in a development agreement for the Property as may be agreed to by and between the City and the Property owner/developer concurrently with the Property being annexed into the City boundaries (the “Development Agreement”). The Property owner/developer’s contribution to the Gustafson Regional Park shall apply toward the project’s required recreational facilities, per Policy 6.3.4 of the Recreation and Open Space Element of the Comprehensive Plan.**
- 4. The Property owner/developer will be required to provide the traffic mitigation agreed upon between the City and the Property owner/developer, based on the traffic analysis provided by the Property owner/developer. Such required traffic mitigation and other public facility improvements related to development of the Property will be set forth in the Development Agreement. Any required project mitigation shall be in conformance with applicable provisions of the City’s Code of Ordinances and with Section 163.3180, Florida Statutes).**

- 5. Silvicultural and agricultural activities on that portion of the Property zoned Agriculture pursuant to the County's Zoning Map (approximately 180 acres) in existence as of the effective date of Ordinance Number O-08-2021 shall be allowed until such time as horizontal construction begins on the Property or any portion thereof for the uses approved in the PUD.**

The Applicant will submit a Planned Unit Development rezoning application for the Property, which will include the proposed maximum 2,100 residential units. The Applicant will also submit a Development Agreement detailing public facilities to be provided by the City and the Applicant to serve the Ayrshire project. Recreational facilities for the proposed residential units with comply with Policy 6.3.4. The Applicant will partner with the City on development of the Gustafson Regional Park. The Applicant will submit a traffic study with the PUD rezoning application and will set forth details regarding traffic mitigation in the Development Agreement.

TRANSPORTATION ELEMENT

Objective 2.8 Site Development Traffic Circulation

The City shall require that all major developments and planned unit developments provide a circulation system which: provides adequate access to the major roadway network; provides for sound design of local and collector streets within such development; provides for the development of multi-use trails, and otherwise provides for the objectives and policies of the Land Use and Transportation Plan.

The Applicant will utilize the existing County Road 15A and U.S. Highway 17 South to access the proposed development, in the locations depicted on the Generalized Site Plan. Internal roads will be public. As depicted on the Generalized Site Plan, the Applicant will include internal automobile, bicycle and pedestrian interconnectivity within the Property and, to the extent practicable, adjacent lands.

HOUSING ELEMENT

GOAL 3

The City of Green Cove Springs shall make provisions for adequate and affordable housing that meets the physical and social needs of all segments of the current and future population of the City.

This application supports the projected growing population of the City by providing more housing options for current and future residents. According to the Office of Economic and Demographic Research, Clay County's population will increase to 300,961 by 2045, and the City's population is expected to increase proportionately. This application and the companion PUD rezoning application will result in a maximum of 2,100 additional residential dwelling units on the subject Property, an increase in the variety of housing within the City. The project will provide a variety of lot sites and hence a range of market rate prices for housing within the City.

Objective 3.1 Adequate and Affordable Housing

The City shall continue to assist the private sector in providing dwelling units of various types, sizes, and costs to meet the housing needs of the current and future residents and residents with special housing needs.

This Application permits a maximum of 2,100 residential units, supporting the objective to provide dwelling units of various types, sizes and costs.

SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER AND ACQUIFER RECHARGE ELEMENT

GOAL 4

The City of Green Cove Springs shall provide sanitary sewer, solid waste, drainage and potable water facilities and services to meet the needs of existing and future populations.

Policy 4.1.3 All improvements for replacement, expansion, or increase in capacity shall be compatible with the adopted level of service standards for facilities.

The proposed development will not exceed the adopted level of service thresholds for public facilities and shall be compatible.

Objective 4.6

Future development shall be required to connect with central sewer and water systems and provide drainage facilities which maximize the use of existing facilities and discourage urban sprawl.

As part of the subdivision approval of this project, the development will use existing water and sewer facilities for the initial phase of the development. Subsequent phases will be served by CCUA once its new water and wastewater plants are completed. Drainage facilities will be provided on site.

CONSERVATION ELEMENT

GOAL 5

The City of Green Cove Springs shall conserve, utilize, and protect its natural resources to ensure that adequate resources are available for future generations.

The Applicant will preserve a majority of on-site wetlands and adjacent uplands within the project, which shall enhance the natural attributes of the site. This preservation will ensure that natural and environmental resources will be available for existing and future generations.

Objective 5.6

Consistent with Objectives and Policies of the Conservation Element, the City will protect significant habitats of viable populations of threatened or endangered species.

The Applicant will notify all appropriate federal, state, regional and local agencies regarding any listed species and critical habitats located within the Property and will comply with the applicable laws, rules and regulations that protect listed species.

RECREATIONAL AND OPEN SPACE ELEMENT

GOAL 6

To provide and maintain a full range of recreational activities to meet the cultural, social and athletic needs of the City and provide open space to meet the aesthetic, health, safety, and welfare needs of its citizens and visitors.

The Project will be a complete neighborhood, with parks and recreational amenities that provide a high quality of life for residents of the proposed 2,100 homes. The Applicant will provide parks and recreational amenities within the project.

Large-Scale Comprehensive Plan Amendment Application

Ayrshire

(RMDRLD)

Comprehensive Plan Amendment Consistency Analysis

November 30, 2020

Revised March 22, 2021

Revised April 1, 2021

Applicant Information:

Applicant: D.R. Horton - Jacksonville
Bob Porter, Anthony Sharp, John Gislason
4220 Race Track Road
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(904) 422-6923

Project Overview

D.R. Horton - Jacksonville (“**Applicant**”) is the contract purchaser of approximately 561 acres located east of County Road 15A, west of U.S. Highway 17 South and south of State Road 16W (Green Cove Avenue) in unincorporated Clay County (the “**Property**”). The Property is the former site of Gustafson’s Dairy Farm, which closed in 2013 and is now abandoned. The Property is currently primarily used for silvicultural purposes. The Property has Clay County Parcel Identification No. 38-06-26-016515-000-00 and is currently owned by Gustafson’s Cattle Inc.

The Applicant is requesting to annex the Property into the City of Green Cove Springs and to change the Future Land Use Map (“**FLUM**”) designation of the Property to Residential **MediumLow** Density (**RMDRLD**). The Property is currently located within unincorporated Clay County and has existing FLUM designation of Rural Fringe and Industrial. The existing zoning district for the Property is Agricultural (AG) and Industrial Select (IS). Concurrently with this application, the Applicant has filed an application for voluntary annexation to have the Property included within the corporate limits of the City of Green Cove Springs (the “**City**”). The Applicant will also apply to rezone the Property to Planned Unit Development (the “**PUD**”).

The Applicant proposes to develop a **mixed-use residential** project consisting of a maximum of 2,100 residential units, to include both single-family and multi-family units. A minimum of 70 percent of the units will be single-family homes. Proposed Future Land Use Map and Generalized Site Plan for the intended plan of development of the Property are enclosed with this application.

The Property is bordered on the north by vacant, recreational property owned by the City; on the east by railroad right-of-way and existing industrial uses; on the west by a mix of uses, including existing residential and agricultural uses; and to the south by vacant, agricultural and existing industrial uses. The proposed Ayrshire project is located near the First Coast Expressway, which is currently under construction.

The Property will be developed in one (1), 20-year phase. The Residential **MediumLow** Density FLUM designation allows for residential density ranging from **zero (0) units to four (4) units to eight (8)** dwelling units per acre. The Applicant is proposing a density of no more than **eight (8) four (4)** units per developable acre within the Property.

The Generalized Site Plan illustrates how the Applicant has taken steps to preserve a majority of the on-site wetlands. The project will also provide a number of recreational fields with restrooms, a pool pavilion, a children’s playground, and parking to serve residents of the Ayrshire community. The Generalized Site Plan also shows site access, drainage and open space.

Project Benefits

A list of the project’s public benefits includes:

1. Providing much-needed housing for inventory in the City, with a variety of housing types and price points.

2. Constructing an access road to a City park site from U.S. Highway 17 to allow use of the land by City residents and others. The road will connect into the Property to provide residents with a second access road (the other access is County Road 15A).
3. Preservation of a majority of on-site wetlands.
4. Preservation of approximately 20 percent of the Property as open space, including green space and lakes.
5. Providing sidewalks and bike paths that interconnect off-site, which will be open to the public.
6. Providing parks for community residents and their guests.
7. Property taxes and other revenues generated will more than pay for public services for new residents.

Compatibility with Surrounding Uses

This Comprehensive Plan Amendment (“CPA”) application, along with the companion PUD rezoning application, will result in a maximum of 2,100 residential dwelling units, which supports the projected growing population of the City and Clay County by providing for more housing options for current and future residents.

The Property is located to the south of the existing City boundary, adjacent to or near lands with FLUM designation of Recreation. The Property is located adjacent to or near lands with Clay County FLUM designations of Agricultural (AG) and Agricultural/Residential (AR) to the west, and Heavy Industrial (IB) to the south and east. The surrounding neighborhood has a variety of lot sizes and residential types, as well as a mix of industrial uses.

The companion PUD rezoning application will allow for a more efficient use of the site in a manner that ensures compatibility with the surrounding uses. The proposed site plan has increased buffers to minimize the impact of this development to surrounding residential properties.

City of Green Cove Springs Comprehensive Plan Analysis and Project Justification

The following Comprehensive Plan Elements have Goals, Objectives and Policies that support this application to amend the FLUM designation of the Property to Residential Medium Density (RMD) and Gustafson Activity Center (GAC). The Comprehensive Plan text is in **bold** below, with consistency analysis in *italics* below each goal, objective and policy.

FUTURE LAND USE ELEMENT

Goal 1

To develop and maintain land use programs and activities to provide for the most appropriate use of the land and direct growth to suitable areas while protecting the public, health, safety and welfare.

The Property is currently within the boundaries of unincorporated Clay County. By annexing the Property into the City of Green Cove Springs, the Council will provide for additional, much-needed housing in an area suitable for growth. With the First Coast Expressway being built near the property, utility lines in place nearby and the adjacent railroad line, the proposed Ayrshire project is appropriate.

Objective 1.2

The City shall assure that future land uses have essential facilities and services which meet locally established levels of service (LOS) standards and adopted as part of the Capital Improvements Element (CIE).

Policy 1.2.1 The City shall ensure that development orders are conditioned upon the provision of essential facilities and services which meet the established level of service standards and necessary to serve the proposed development by reviewing each site plan/development proposal to ensure compliance with concurrency and do not go beyond LOS threshold.

The Property is currently undeveloped. The proposed development will not exceed the adopted level of service thresholds for public facilities. The Applicant will extend utility lines and public roads to serve the project and surrounding lands.

Policy 1.2.3 The City shall review proposed annexation requests to determine if potential development may impact services provided by the City and governed by its concurrency management system such that the adopted level of service would be negatively affected at the maximum development potential for the properties under the City's proposed land use category. The impacts calculated shall recognize credits based on the development potential under the existing County land use designation. Parcels that are determined to negatively impact the City's ability to maintain its adopted level of service based on existing and planned improvements shall be required to enter into an agreement with the City prior to approval of a final development order to mitigate impacts associated with the actual development plans consistent with the City's concurrency management system.

The Applicant will provide project roadway connection to County Road 15A and U.S. Highway 17 South, in the locations depicted on the Generalized Site Plan, and will extend water and sewer lines to the site. An existing railroad line runs adjacent to the site, for potential industrial use. The Applicant will provide parks to serve community residents and will construct an extension of the City's trail system that will be open to the public. The Applicant will preserve a majority of on-site wetlands as natural areas.

Objective 1.5

The City shall enforce innovative land development regulations for new developments, which protect the City's natural resources. Policies 1.5.1 Planned Unit Developments shall be encouraged to control growth and design.

Policy 1.5.1 Planned Unit Developments shall be encouraged to control growth and design.

This application to develop approximately 561 acres within the City will allow a maximum of 2,100 single-family and multi-family residential units. Through the concurrent Annexation Application, the tax parcel will be brought within the City limits, allowing growth to occur within the City. The proposed PUD zoning designation will allow for a more efficient use of the site in a manner that ensures compatibility with the surrounding area.

Objective 1.6

Future land use densities and intensities shall be in accordance with the Land Use Element.

Policy 1.6.1.(a)(2) — ~~Medium 1~~ Low Density Residential (>40 to 84 dwelling units per acre). This category consists primarily of ~~duplex dwelling units and multi~~single-family dwelling units. ~~Single-family dwellings, churches, group homes, housing for the elderly and similar~~ on individual lots and accessory uses shall. Churches may also be included.

The companion PUD rezoning application proposes a maximum of 2,100 single-family and multi-family residential units. The proposed densities and intensities of use will not exceed that permitted within the applicable Future Land Use Map designation.

Objective 1.7

The City shall discourage the proliferation of urban sprawl through the appropriate land use.

The proposed Ayrshire project will discourage urban sprawl by annexing the Property into the City's corporate boundaries and providing a future land use designation appropriate for the area. With the First Coast Expressway being constructed near the Property, growth will occur in this area. Section 9J-5.003(134), Florida Administrative Code, defines urban sprawl as urban development or other uses which are located in predominantly rural areas, or rural areas interspersed with generally low-intensity or low-density uses. This site is located adjacent to the City limits, in an area with fairly high-density residential uses, along with commercial and

industrial uses. The City has utility lines near the site, which can be extended by the Applicant to serve the project. U.S. Highway 17 and County Road 15A are existing collector roads that serve the Property, and the First Coast Expressway will soon be available for travel. The proposed density of the project is not low-density, nor is it leapfrog or scattered development.

Policy 1.7.1 The location and timing of new development and the issuance of permits shall be coordinated with the availability of public facilities (including, but not limited to: central sewer, potable water, drainage, roads, and solid waste collection) through implementation of growth management measures such as infill development phasing, programming and appropriate over-sizing of public facilities and zoning and subdivision regulations.

The residential units within the Property can be easily served by the existing County Road 15A and U.S. Highway 17 South for access. The project will also be served by the future First Coast Expressway, which is under construction to the south. A rail line is located along the eastern boundary of the site. Project utilities will be provided as required by applicable provisions of the Code. The availability of water and sewer utilities in the City required to serve the initial phase of the project will be accessed at the time of design. The Applicant will extend all water and sewer lines to serve the Property and connect to CCUA once its new water and wastewater plants are completed.

Policy 1.7.2 The City Limits shall define the urban service area for land planning purposes. The City provides the same level of service to all of the properties within its boundaries and will consider its ability to offer the same level of service to properties under consideration for annexation prior to accepting additional lands into the City.

The Property is located adjacent to the existing city limits, and thus the City's urban service area boundary, and the Applicant has requested to include the site within said boundary via the pending annexation and CPA applications.

Policy 1.7.3 The City shall promote the annexation of property located within the Green Cove Springs utility service boundary.

The Property is located within the City's electricity grid. Historically, the City provided electricity to the Gustafson's plant on the project site.

Objective 1.10

The City may approve amendments to the Comprehensive Plan that are consistent with state law.

Upon the City's approval of the companion annexation application, the Property will be within the corporate boundaries of Green Cove Springs. Then City then has the legal authority to amend its Comprehensive Plan to give the Property the requested Residential ~~Medium~~ Low Density future land use designation.

Objective 1.14 - PROPOSED

Objective 1.14 The City shall adopt, as necessary, Future Land Use Map Amendments with specific development conditions that are consistent with the City’s adopted Level of Service (LOS) standards and Future Land Use Element, and compatible with the surrounding uses.

Policy 1.14.1: Future Land Use Map (FLUM) Amendment 20-XXXX was adopted by Ordinance Number xxxxx on Mm/dd/2021 for that portion of property within Clay County Parcel Identification No. 38-06-26-016515-000-00 located east of County Road 15A and west of U.S. Highway 17 (the “Property”) and changed the future land use designation from County Industrial and County Rural Fringe to Residential **MediumLow** Density. The Property shall meet the requirements of all applicable goals, objectives, policies and map designations of the Comprehensive Plan; provided, however, land use/development potential for the Property made available by FLUM Amendment XX-000X is hereby limited as follows:

1. The Property shall be developed in accordance with a Planned Unit Development, as may be approved by the City in accordance with the City’s Land Development Regulations in effect at the time of the PUD application.
2. Recreational facilities shall be provided commensurate with the City’s Level of Service standard for Recreation set forth in the Recreation and Open Space Element, Policy 6.3.4, of the Comprehensive Plan in effect at the time of the PUD application.
3. Coincident with horizontal construction for the first residential subdivision within the Property, the Property owner/developer shall partner with the City regarding the development of the Gustafson Regional Park. The details of such park development partnership shall be set forth in a development agreement for the Property **as may be agreed to be entered into by and between** the City and the Property owner/developer concurrently with the Property being annexed into the City boundaries (the “Development Agreement”). The Property owner/developer’s contribution to the Gustafson Regional Park shall apply toward the project’s required recreational facilities, per Policy 6.3.4 of the Recreation and Open Space Element of the Comprehensive Plan.
4. The Property owner/developer will be required to provide the traffic mitigation agreed upon between the City and the Property owner/developer, based on the traffic analysis provided by the Property owner/developer. Such required traffic mitigation and other public facility improvements related to development of the

Property will be set forth in the Development Agreement. Any required project mitigation shall be in conformance with applicable provisions of the City's Code of Ordinances and with Section 163.3180, Florida Statutes).

5. Silvicultural and agricultural activities on that portion of the Property zoned Agriculture pursuant to the County's Zoning Map (approximately 180 acres) in existence as of the effective date of Ordinance Number ~~XXXO-08-2021~~ shall be allowed until such time as horizontal construction begins on the Property or any portion thereof for the uses approved in the PUD.

The Applicant will submit a Planned Unit Development rezoning application for the Property, which will include the proposed maximum 2,100 residential units. The Applicant will also submit a Development Agreement detailing public facilities to be provided by the City and the Applicant to serve the Ayrshire project. Recreational facilities for the proposed residential units will comply with Policy 6.3.4. The Applicant will partner with the City on development of the Gustafson Regional Park. The Applicant will submit a traffic study with the PUD rezoning application and will set forth details regarding traffic mitigation in the Development Agreement.

TRANSPORTATION ELEMENT

Objective 2.8 Site Development Traffic Circulation

The City shall require that all major developments and planned unit developments provide a circulation system which: provides adequate access to the major roadway network; provides for sound design of local and collector streets within such development; provides for the development of multi-use trails, and otherwise provides for the objectives and policies of the Land Use and Transportation Plan.

The Applicant will utilize the existing County Road 15A and U.S. Highway 17 South to access the proposed development, in the locations depicted on the Generalized Site Plan. Internal roads will be public. As depicted on the Generalized Site Plan, the Applicant will include internal automobile, bicycle and pedestrian interconnectivity within the Property and, to the extent practicable, adjacent lands.

HOUSING ELEMENT

GOAL 3

The City of Green Cove Springs shall make provisions for adequate and affordable housing that meets the physical and social needs of all segments of the current and future population of the City.

This application supports the projected growing population of the City by providing more housing options for current and future residents. According to the Office of Economic and Demographic Research, Clay County's population will increase to 300,961 by 2045, and the City's population is expected to increase proportionately. This application and the companion PUD rezoning application will result in a maximum of 2,100 additional residential dwelling units on the subject Property, an increase in the variety of housing within the City. The project will provide a variety of lot sites and hence a range of market rate prices for housing within the City.

Objective 3.1 Adequate and Affordable Housing

The City shall continue to assist the private sector in providing dwelling units of various types, sizes, and costs to meet the housing needs of the current and future residents and residents with special housing needs.

This Application permits a maximum of 2,100 residential units, supporting the objective to provide dwelling units of various types, sizes and costs.

SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER AND ACQUIFER RECHARGE ELEMENT

GOAL 4

The City of Green Cove Springs shall provide sanitary sewer, solid waste, drainage and potable water facilities and services to meet the needs of existing and future populations.

Policy 4.1.3 All improvements for replacement, expansion, or increase in capacity shall be compatible with the adopted level of service standards for facilities.

The proposed development will not exceed the adopted level of service thresholds for public facilities and shall be compatible.

Objective 4.6

Future development shall be required to connect with central sewer and water systems and provide drainage facilities which maximize the use of existing facilities and discourage urban sprawl.

As part of the subdivision approval of this project, the development will use existing water and sewer facilities for the initial phase of the development. Subsequent phases will be served by CCUA once its new water and wastewater plants are completed. Drainage facilities will be provided on site.

CONSERVATION ELEMENT

GOAL 5

The City of Green Cove Springs shall conserve, utilize, and protect its natural resources to ensure that adequate resources are available for future generations.

The Applicant will preserve a majority of on-site wetlands and adjacent uplands within the project, which shall enhance the natural attributes of the site. This preservation will ensure that natural and environmental resources will be available for existing and future generations.

Objective 5.6

Consistent with Objectives and Policies of the Conservation Element, the City will protect significant habitats of viable populations of threatened or endangered species.

The Applicant will notify all appropriate federal, state, regional and local agencies regarding any listed species and critical habitats located within the Property and will comply with the applicable laws, rules and regulations that protect listed species.

RECREATIONAL AND OPEN SPACE ELEMENT

GOAL 6

To provide and maintain a full range of recreational activities to meet the cultural, social and athletic needs of the City and provide open space to meet the aesthetic, health, safety, and welfare needs of its citizens and visitors.

The Project will be a complete neighborhood, with parks and recreational amenities that provide a high quality of life for residents of the proposed 2,100 homes. The Applicant will provide parks and recreational amenities within the project.

Ayrshire Planned Unit Development

City of Green Cove Springs, Florida

March 22, 2021
Revised April 5, 2021

Team Roster**Owners:**

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Exhibit List:

Exhibit "A" – Legal Description of the Property
Exhibit "B" – Conceptual Development Plan
Exhibit "C" – Collector Road Typical Section
Exhibit "D" – Typical Landscape Plan

A. Development Summary

This application proposes to rezone approximately 561 acres (the "Property") from Agriculture (AG) and Industrial Select (IS) (Clay County) to Planned Unit Development (PUD) in the City of Green Cove Springs. The Property is owned by Gustafson's Cattle, Inc. and is under contract for purchase by D.R. Horton, Inc. – Jacksonville (the "Applicant"). A legal description of the Property is attached as Exhibit "A".

The requested PUD rezoning application is a companion to applications to annex the Property into the City of Green Cove Springs and to change the Future Land Use Map designation from Industrial and Rural Fringe (Clay County) to Residential Low Density in the City. The PUD is consistent with the proposed City Future Land Use Map ("FLUM") designations set forth in the City of Green Cove Springs Comprehensive Plan.

The Property is located east of County Road 15A, north and west of U.S. Highway 17 and south of the current corporate limits of Green Cove Springs. The City owns a vacant regional park site to the north of the Property. The rest of the Property is surrounded by industrial and residential lands, some of which are developed and others are vacant.

The Applicant will provide roads, utilities, parks and other infrastructure to serve the Property. A majority of the on-site wetlands will be preserved and set aside to enhance the natural attributes of the site.

Unless specified otherwise in this PUD text and the PUD ordinance approving the same, the project will comply with applicable provisions of the City of Green Cove Springs Land Development Code (the "Code").

B. The Property

The Property includes approximately 561 acres. Wetlands will be delineated pursuant to requirements of the St. Johns River Water Management District ("District") and U.S. Army Corps of Engineers ("Corps"), and any proposed wetland impacts will be permitted by the District and Corps. A conceptual site plan for the Property is illustrated on the Conceptual Development Plan attached as Exhibit "B".

C. Residential Development

The Property will include a maximum of 2,100 residential units, which will include single-family and multi-family dwellings. No more than 30 percent of the residential units will be multi-family. Approximately 462 acres of the Property are developable.

The Property will also include parks and other recreational areas to serve the proposed residential development. Temporary construction offices and trailers,

and essential services including roads, water, sewer, gas, telephone, stormwater management facilities, radio, television and electric and cellular communication towers will be permitted within residential portions of the project.

D. Non-residential Development

There will be no non-residential development within the Property except for uses ancillary to the residential development described in Section C hereof.

E. Site Development Criteria

1. Residential Criteria

a. Single-Family Residential:

1. Setbacks: The minimum building setbacks are as follows:
 - a. A minimum of 50 feet from the right-of-way of County Road 15A and 20 feet from the primary internal access road labeled Jersey Avenue on the Conceptual Development Plan.
 - b. Lot setbacks are: Front Yard: 20 feet from face of garage, 15 feet from front facade of house; 10 feet on Corners
Rear Yard: 10 feet
Side Yard: 5 feet
2. Building height: Buildings shall not exceed 35 feet in height.
3. Minimum lot size: 4,000 square feet.
4. Minimum lot width: 40 feet. Lot sizes will range from 40 to 60 feet in width.
5. Maximum impervious surface ratio: 50 percent for the Property (the entire PUD).
6. Maximum lot coverage by buildings: 60 percent per Lot and 60 percent for the Property (the entire PUD).
7. Density: There are approximately 561 acres designated for residential use within the Property. The Residential Low Density Future Land Use designation of the Property allows a maximum density of four (4) units per acre. The proposed density of 3.74 units per acre is consistent with the requirements for the Residential Low Density Future Land Use category set forth in the Green Cove Springs Comprehensive Plan.
8. Parking: Each residence will have two (2) parking spaces. Single-family homes will have enclosed garages that are a minimum of 200 square feet (10 feet by 20 feet).

2. Multi-Family/Townhome Criteria

a. Setbacks: The minimum building setbacks are as follows:

1. A minimum of 50 feet from the right-of-way of County Road 15A and 20 feet from the primary internal access road labeled Jersey Avenue on the Conceptual Development Plan.
2. Lot setbacks are: Front Yard: 15 feet
Rear Yard: 10 feet
Side Yard: 10 feet from property lines, 0 feet for interior lots with common wall lines, minimum 20 feet of separation between buildings

- b. Building height: Townhome and duplex buildings shall not exceed 45 feet in height.
- c. Minimum lot size: 1,200 square feet
- d. Minimum lot width: 15 feet.
- e. Maximum impervious surface ratio: 75 percent.
- f. Maximum lot coverage by buildings: 60 percent of the overall parcel.
- g. Density. See Section E.1.a.7 for residential density calculation.
- h. Parking: Townhome units will have two (2) parking spaces per unit. Apartment units will have 1.75 parking spaces per unit. All multi-family parcels (townhomes and apartments) shall also include one (1) guest parking space for each four (4) dwelling units.

3. Signage. On-site signs shall be permitted within the Property. Project signage shall meet the applicable requirements of Code Sections 125-13 and 125-14 except as follows:

- a. At each project entrance along County Road 15A, the Applicant shall be permitted one (1) ground sign, with a maximum of 32 square feet of advertising display area. These signs will not exceed 12 feet in height. The generation locations of these signs will be depicted on applicable construction plans. Project signs may be lighted or illuminated. The Applicant may construct a fence, masonry wall or berm or install landscaping and/or vegetation (or provide a combination thereof) to compliment the entrance feature.
- b. Construction and/or advertising signs shall be allowed as on-site temporary signs. Such signs must be removed within 30 days after the last unit is sold. The signs may be two (2) sided with each face limited to six (6) square feet.

- c. Various locational, directional, model home and traffic control signs shall be allowed on site to direct traffic and for identification of sales offices, recreation areas, etc. Such signs will be a maximum of three (3) square feet in size.

G. Infrastructure

1. Drainage: A master stormwater management system shall be constructed and maintained by a homeowners' association ("HOA") or a community development district ("CDD"). The stormwater management system will be constructed in accordance with the requirements of the City of Green Cove Springs and the St. Johns River Water Management District. Final HOA or CDD documents will be submitted with the final plat application. The conceptual master stormwater plan for the entire PUD shall be approved prior to the City's approval of the first final plat.
2. Site Access: Vehicular access within the Property connects off-site to County Road 15A and U.S. Highway 17 in the locations depicted on the Conceptual Development Plan. The primary site access collector road will be constructed in accordance with the typical section attached as Exhibit "C". Streets interior to the project shall be publicly dedicated. Traffic calming techniques, including but not limited to raised intersections, traffic circles and shared multi-modal spaces, will be encouraged.
3. Pedestrian Circulation: An eight (8)-foot multi-use path shall be provided along one side of the primary access collector road from U.S. 17 (if the PUD is connected to U.S. 17) to County Road 15A, through the Property to Jersey Avenue. No sidewalk shall be provided on the other side of such collector road. Internal project pedestrian circulation will be provided via sidewalks on one side of internal streets. No sidewalks will be provided on the other side of internal streets. Sidewalks shall be four (4) feet in width and shall be provided on one side of residential streets and on both sides of collector roads on which residential lots do not directly access. Sidewalks will connect to all project park sites. Any sidewalks constructed along County Road 15A shall be five (5) feet in width.
4. Parks, Open Space and Recreational Facilities: The project will provide a minimum of five (5) acres of parks for every 1,000 residents, per Comprehensive Plan Policy 6.3.4. The project will be presumed to have 2.4 residents per unit for the purposes of calculating park requirements under this PUD. The Applicant, its successors and assigns, will provide recreational facilities which may include an amenity center, swimming pool, playgrounds, tot lots, pickleball courts, dog parks, walking trails, multi-purpose trails and others to serve the community. No regional parks will be located within the PUD boundaries.
5. Solid Waste Collection: Solid waste collection will be provided by a City-contracted waste collection company.

6. Utilities: Except for those utilities already in place, or the relocation of such utilities, all utilities within the Project shall be underground. As part of the subdivision approval of this project, Ayrshire will use existing water and sewer facilities for the initial phase of the development. Subsequent phases will be served by CCUA once its new water and wastewater plants are completed.
7. Transportation Systems: All transportation systems will comply with applicable provisions of City Code Chapter 113, Article II, Division 2, except for the primary access collector road, for which the typical section is attached as Exhibit "C", and except as otherwise set forth in this PUD ordinance and its exhibits.

H. Buffering and Landscaping

1. Perimeter Buffer: A natural or landscaped buffer a minimum ten (10)-foot wide shall be located along the perimeters of the Property, except that the buffer along County Road 15A, U.S. Highway 17 and the railroad line shall be fifty (50) feet wide. The Applicant will be permitted to construct sidewalks within the perimeter buffer, in the general locations depicted on the Conceptual Development Plan. Buffer areas will be owned and maintained by an HOA or CDD.
2. Landscaping. A typical landscape plan for the Property is attached hereto as Exhibit "D". Tree mitigation and landscaping will comply with applicable provisions of Code Chapter 113, Article VI. Street trees for all roadways, including the north side of Jersey Avenue, shall comply with applicable provisions of City Code Section 113-244. Parking lots that contain more than 20 parking spaces shall meet applicable landscape requirements of City Code Section 113-246. The Applicant will provide tree surveys for portions of the Property subject to development with the filing of construction plans for such areas. Such tree surveys shall show all existing trees 12 inches diameter breast height or larger and shall detail which of such trees are proposed to be saved and removed. No tree surveys will be provided for areas of the Property that will remain undisturbed. A canopy tree of a minimum 2.5 inches diameter breast height at the time of planting shall be planted on each single-family lot prior to the City's issuance of a certificate of occupancy. Such trees shall be irrigated through the establishment period.
3. Upland Buffers: An averaged 25-foot natural vegetative upland buffer shall be required and maintained between developed area and contiguous wetlands. The 25 feet shall be measured from the State jurisdictional wetland line.

I. Temporary Uses

Ten (10) percent of the homes within the PUD may be constructed as model homes with approved construction plans. The model homes may be built during

construction of the infrastructure and may be used for sales, administration and construction offices. The City will not issue certificates of occupancy for model homes until related infrastructure construction has been completed. Parking for the model homes and sales offices will be located within the driveway or adjacent lot. Model homes will be required to meet applicable building code requirements for business occupancy. Development of the site and construction of the improvements will require temporary uses such as construction trailers, sales offices, temporary signage and temporary access. Temporary construction and sales trailers will be removed no later than 30 days following the issuance of a certificate of occupancy for the last home constructed on the Property. The Applicant shall be permitted to erect temporary on-site construction and real estate signage on the Property.

J. Accessory Uses

Standard residential accessory uses will be allowed within the residential building areas of the site, including but not limited to decks, swimming pools, patios, air conditioning units, walkways and sidewalks.

Accessory uses such as private garages/mother-in-law suites and storage buildings; home occupations in compliance with applicable provisions of City Code Section 117-789; model homes; guardhouses; air conditioning units and related heating/cooling units; swimming pools and pool equipment; fences, walls or hedges; gazebos and other open-air structures; boardwalks, docks, and other similar uses shall be permitted within the Property. Accessory uses shall comply with the applicable development criteria set forth in Section E of this PUD text.

The following criteria will apply to mother-in-law suites:

1. The unit shall be accessory to and on the same property as a single-family dwelling unit.
2. The unit shall be developed in conjunction with or after development of the principal dwelling unit and the owner of the property must reside within either the principal or the accessory dwelling unit.
3. Not more than one (1) accessory dwelling unit per single-family residential lot is permitted.
4. No accessory dwelling unit shall be sold separately from the principal dwelling unit. The accessory dwelling unit and the principal dwelling unit shall be located on a single lot or parcel, or on a combination of lots or parcels.
5. The air-conditioned floor area of the accessory dwelling unit shall not exceed 50 percent of the air-conditioned floor area of the principal structure, The accessory dwelling unit shall be no less than 200 square feet of air-conditioned floor area.

6. The unit shall meet the site development criteria specified in Section E of this PUD text.
7. The unit shall be designed so that the exterior façade material is similar in appearance (material and color) of the existing principal structure.
8. A minimum of one (1), but not more than two (2) parking spaces shall be provided for the accessory dwelling unit, in addition to the spaces required for the principal dwelling unit.
9. Construction of the accessory dwelling unit, in combination with all structures on the property, shall not cause the maximum lot coverage of this PUD to be exceeded.
10. The accessory dwelling unit shall be serviced by centralized water and wastewater.
11. An accessory dwelling unit shall be treated as a multi-family unit for impact fees.

K. Project Phasing

The project will be constructed in one (1), 20-year phase. Construction will be commenced by 2024 and shall be completed by December 31, 2044. For purposes of this PUD, “commencement” shall mean securing approved construction drawings. “Completion” shall be defined as the installation of horizontal infrastructure and City approval of as-builts.

L. Ownership Agreement

The Applicant, on behalf of itself and its successors and assigns, hereby agrees and stipulates to proceed with the proposed development in accordance with the PUD ordinance for this application as adopted by the Green Cove Springs City Council. The Applicant also agrees to comply with all conditions and safeguards established by the City of Green Cove Springs with respect to this Planned Unit Development application.

Exhibit "A"**Legal Description of the Property**

A portion of Section 38 of the George I.F. Clarke Grant, Township 6 South, Range 26 East, Clay County, Florida, being a portion of those lands described and recorded in Official Records Book 1545, page 513 of the Public Records of said county and being more particularly described as follows:

For a Point of Reference, commence at the intersection of the Easterly right of way line of County Road 15A, (South Oakridge Avenue), a 100 foot right of way as presently established with the Southerly right of way line of Green Cove Avenue, a variable width right of way as presently established; thence Southerly along said Easterly right of way line and along the arc of a curve concave Westerly having a radius of 1959.86 feet, through a central angle of 14°47'09", an arc length of 505.76 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 05°15'37" East, 504.36 feet; thence South 02°07'57" West, continuing along last said Easterly right of way line, 1331.79 feet to the Southwest corner of those lands described and recorded in Official Records Book 3863, page 203 of said Public Records and the Point of Beginning.

From said Point of Beginning, thence Easterly and Northeasterly along the Southerly and Southeasterly boundary of last said lands, the following 12 courses: Course 1, thence South 88°31'42" East, departing last said Easterly right of way line, 282.59 feet; Course 2, thence North 21°17'17" East, 161.55 feet; Course 3, thence South 68°42'43" East, 287.10 feet; Course 4, thence South 58°52'43" East, 32.90 feet; Course 5, thence South 37°48'54" East, 22.40 feet; Course 6, thence North 70°53'31" East, 15.20 feet; Course 7, thence North 34°14'49" East, 52.23 feet; Course 8, thence South 88°17'22" East, 94.17 feet; Course 9, thence North 31°43'31" East, 427.82 feet; Course 10, thence North 73°46'32" West, 158.11 feet; Course 11, thence North 13°06'51" East, 477.10 feet; Course 12, thence North 10°55'57" East, 142.00 feet to a point lying on the Southwesterly line of those lands described and recorded as Parcel "A" in Official Records Book 3316, page 1098 of said Public Records; thence South 77°06'26" East, along last said line, 2932.48 feet to the Northwest corner of those lands described and recorded in Official Records Book 3855, page 1391 of said Public Records; thence Southerly along the westerly line thereof, the following 3 courses: Course 1, thence South 21°54'49" East, 3242.16 feet; Course 2, thence South 68°05'09" West, 1307.43 feet; Course 3, thence South 21°54'51" East, 1003.87 feet to a point lying on the Northerly line of an Access and Maintenance Easement as described and recorded in Official Records Book 3855, page 1394 of said Public Records; thence Westerly along said Northerly line, the following 26 courses: Course 1, thence South 37°01'31" West, 149.07 feet to the point of curvature of a curve concave Northwesterly having a radius of 955.00 feet; Course 2, thence Southwesterly along the arc of said curve, through a central angle of 16°37'06", an arc length of 276.99 feet to a point on said curve, said arc being subtended by a chord bearing and distance of South 45°20'05" West, 276.02 feet; Course

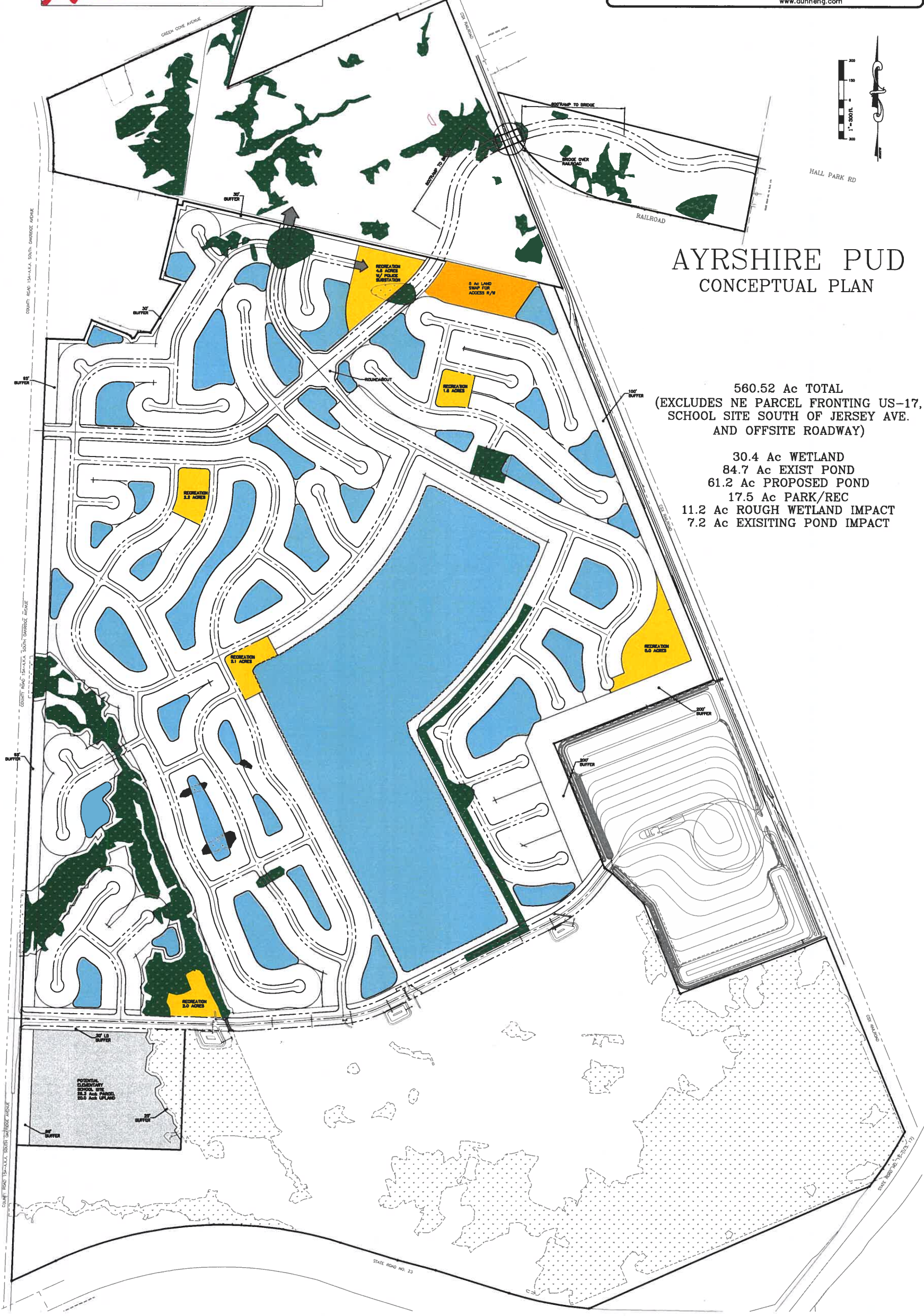
3, thence South 67°24'13" West, along a non-tangent line, 105.10 feet; Course 4, thence South 53°45'05" West, 12.16 feet; Course 5, thence South 13°14'26" West, 24.72 feet; Course 6, thence South 63°07'28" West, 859.11 feet; Course 7, thence North 26°52'32" West, 5.00 feet; Course 8, thence South 63°07'28" West, 382.73 feet; Course 9, thence North 26°52'32" West, 31.65 feet; Course 10, thence South 63°07'28" West, 74.60 feet; Course 11, thence South 26°52'32" East, 36.65 feet; Course 12, thence South 63°07'28" West, 102.14 feet to the point of curvature of a curve concave Northerly having a radius of 955.00 feet; Course 13, thence Westerly along the arc of said curve, through a central angle of 22°47'15", an arc length of 379.82 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 74°31'05" West, 377.32 feet; Course 14, thence South 85°54'43" West, 731.91 feet; Course 15, thence North 04°05'17" West, 5.00 feet to a point on a non-tangent curve concave Northerly having a radius of 250.00 feet; Course 16, thence Westerly along the arc of said curve, through a central angle of 05°44'03", an arc length of 25.02 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 88°46'45" West, 25.01 feet; Course 17, thence North 88°21'14" West, 61.78 feet; Course 18, thence North 19°49'14" West, 8.30 feet; Course 19, thence North 55°44'57" West, 30.16 feet; Course 20, thence South 67°18'10" West, 29.23 feet; Course 21, thence South 07°09'24" West, 17.00 feet; Course 22, thence North 88°21'14" West, 362.37 feet; Course 23, thence South 01°38'46" West, 5.00 feet; Course 24 thence North 88°21'14" West, 800.00 feet; Course 25, thence North 01°38'46" East, 10.00 feet; Course 26, thence North 88°21'14" West, 355.52 feet to a point lying on the aforementioned Easterly right of way line of County Road 15A; thence North 02°07'57" East, along last said Easterly right of way line, 5150.65 feet to the Point of Beginning.

Containing 560.52 acres, more or less.

Exhibit "B"
Conceptual Development Plan



Dunn & Associates, Inc.
 CIVIL ENGINEERS / LAND PLANNERS
 8647 Baypine Road Building 1, Suite 200
 Jacksonville, Florida 32256
 Phone: (904)363-8916 Fax: (904)363-8917
 www.dunneng.com



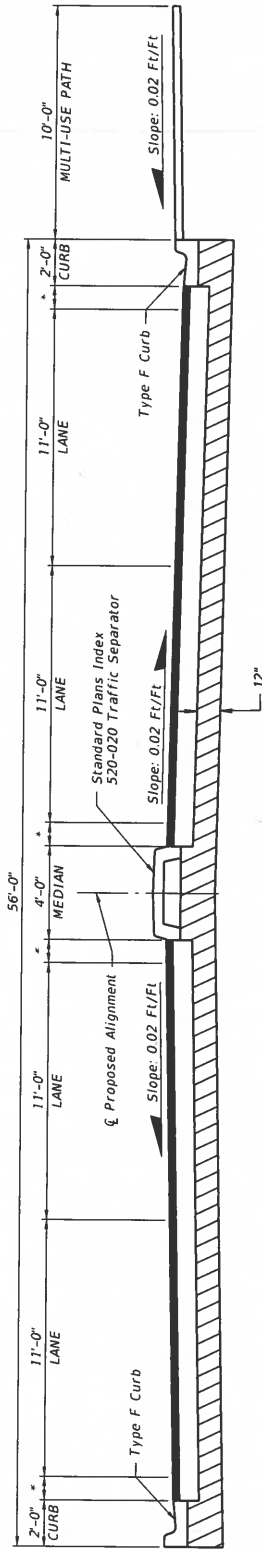
**AYRSHIRE PUD
 CONCEPTUAL PLAN**

560.52 Ac TOTAL
 (EXCLUDES NE PARCEL FRONTING US-17,
 SCHOOL SITE SOUTH OF JERSEY AVE.
 AND OFFSITE ROADWAY)

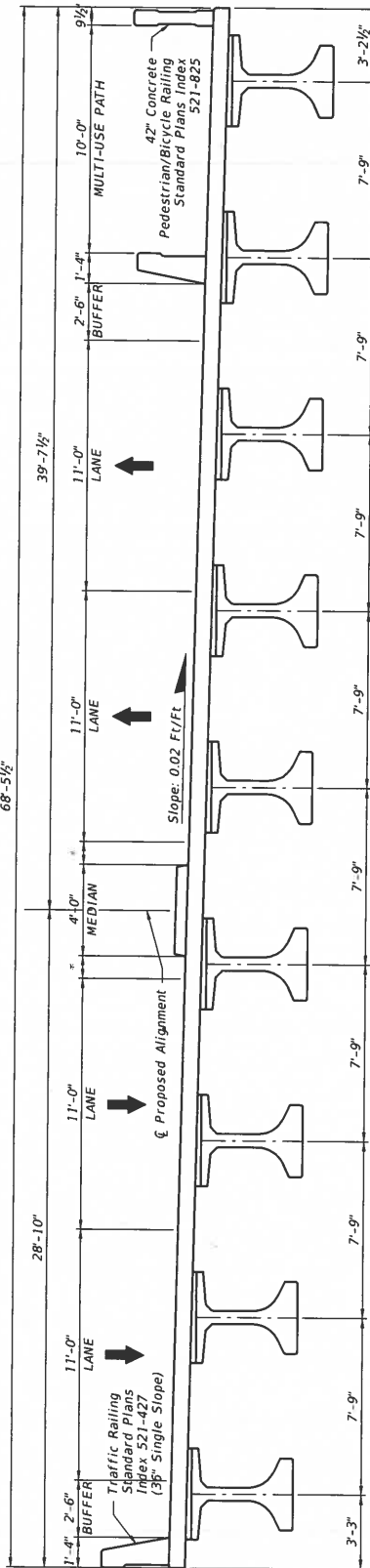
30.4 Ac WETLAND
 84.7 Ac EXIST POND
 61.2 Ac PROPOSED POND
 17.5 Ac PARK/REC
 11.2 Ac ROUGH WETLAND IMPACT
 7.2 Ac EXISTING POND IMPACT

EXHIBIT "C"

Collector Road Typical Section



TYPICAL ROADWAY SECTION



TYPICAL BRIDGE SECTION

BRIDGE NO. XXXXXX

DATE		BY		DESCRIPTION		REVISIONS	
DATE	BY	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

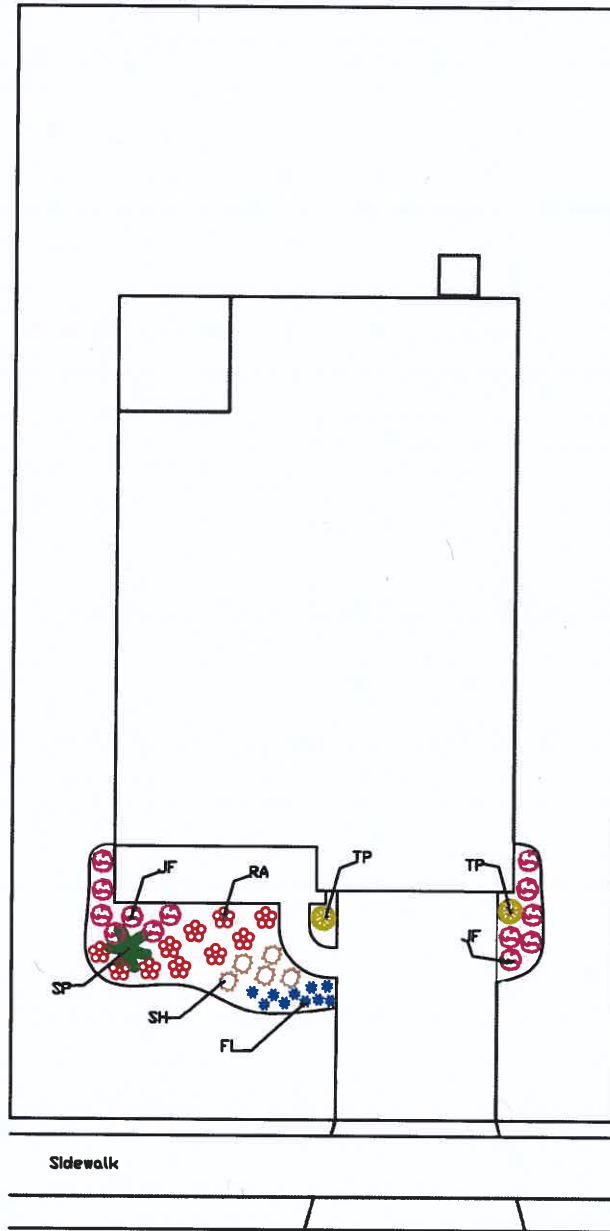
OWNER: STATE OF FLORIDA	PROJECT TITLE: TYPICAL SECTIONS
DEPARTMENT: DEPARTMENT OF TRANSPORTATION	PROJECT NAME: AYRSHIRE BRIDGE OVER CSX RAILROAD
COUNTY: CLAY	PROJECT NUMBER: 2119/2021
BRIDGE NO. 36883	DATE: 2/19/2021
DESIGNED BY: DUANE MERRELL, FL P.E.	TIME: 2:44:20 PM
CHECKED BY: P.E. LICENSE NUMBER 36883	
DATE:	
DESIGNED BY: POND & COMPANY	
CHECKED BY: 1200 RIVERPLACE BLVD. STE 600	
DATE:	
DESIGNED BY: JACKSONVILLE, FL 32207	
CHECKED BY:	
DATE:	

EXHIBIT "D"

Typical Landscape Plan

ALTA LAKES

KEY	COMMON NAME	SIZE	QNTY.
TP	Topiary	15 Gallon	2
SP	Sabal Palm	15 Gallon	1
JF	Jack Frost Ligustrum	3 Gallon	13
RA	Fashion Azalea	3 Gallon	10
SH	Miss Shillers Viburnum	3 Gallon	5
FL	Flax Lily	1 Gallon	10



NO.	DATE	REVISIONS
1		

This drawing and all information herein are the property of Southern Scapes, Inc. and may not be used or copied without written consent of said corporation.

D.R. HORTON
LANDSCAPE PLANTING PLAN



Ayrshire Planned Unit Development

City of Green Cove Springs, Florida

March 22, 2021

Revised April 5, 2021

Team Roster**Owners:**

Gustafson's Cattle, Inc.
P.O. Box 600337
Jacksonville, Florida 32260

Applicant:

D.R. Horton, Inc. – Jacksonville
Bob Porter, Anthony Sharp, John Gislason
4220 Race Track Road
St. Johns, Florida 32259
(904) 421-4612

Land Planning/Civil Engineering:

Dunn & Associates, Inc.
Vince Dunn, David Taylor
8647 Baypine Road, Suite 200
Jacksonville, Florida 32256
(904) 363-8916

Legal:

Rogers Towers, P.A.
Ellen Avery-Smith, Esq.
100 Whetstone Place, Suite 200
St. Augustine, Florida 32086
(904) 825-1615

Exhibit List:

Exhibit "A" – Legal Description of the Property
Exhibit "B" – Conceptual Development Plan
Exhibit "C" – [Collector Road Typical Section](#)
Exhibit "D" – [Typical Landscape Plan](#)

A. Development Summary

This application proposes to rezone approximately 561 acres (the "Property") from Agriculture (AG) and Industrial Select (IS) (Clay County) to Planned Unit Development (PUD) in the City of Green Cove Springs. The Property is owned by Gustafson's Cattle, Inc. and is under contract for purchase by D.R. Horton, Inc. – Jacksonville (the "Applicant"). A legal description of the Property is attached as Exhibit "A".

The requested PUD rezoning application is a companion to applications to annex the Property into the City of Green Cove Springs and to change the Future Land Use Map designation from Industrial and Rural Fringe (Clay County) to ~~Medium Density~~ Residential Low Density in the City. The PUD is consistent with the proposed City Future Land Use Map ("FLUM") designations set forth in the City of Green Cove Springs Comprehensive Plan.

The Property is located east of County Road 15A, north and west of U.S. Highway 17 and south of the current corporate limits of Green Cove Springs. The City owns a vacant regional park site to the north of the Property. The rest of the Property is surrounded by industrial and residential lands, some of which are developed and others are vacant.

The Applicant will provide roads, utilities, parks and other infrastructure to serve the Property. A majority of the on-site wetlands will be preserved and set aside to enhance the natural attributes of the site.

Unless specified otherwise in this PUD text and the PUD ordinance approving the same, the project will comply with applicable provisions of the City of Green Cove Springs Land Development Code (the "Code").

B. The Property

The Property includes approximately 561 acres. Wetlands will be delineated pursuant to requirements of the St. Johns River Water Management District ("District") and U.S. Army Corps of Engineers (~~("Corps")~~), and any proposed wetland impacts will be permitted by the District and Corps. A conceptual site plan for the Property is illustrated on the Conceptual Development Plan attached ~~hereto~~ as Exhibit "B".

C. Residential Development

The Property will include a maximum of 2,100 residential units, which will include single-family and multi-family dwellings. No more than 30 percent of the residential units will be multi-family. Approximately 462 acres of the Property are developable.

The Property will also include parks and other recreational areas to serve the proposed residential development. Temporary construction offices and trailers,

and essential services including roads, water, sewer, gas, telephone, stormwater management facilities, radio, television and electric and cellular communication towers will be permitted within residential portions of the project.

D. Non-residential Development

There will be no non-residential development within the Property except for uses ancillary to the residential development described in Section C hereof.

E. Site Development Criteria

1. Residential Criteria

a. Single-Family Residential:

1. Setbacks: The minimum building setbacks are as follows:
 - a. A minimum of 50 feet from the right-of-way of ~~U.S. Highway 17 and~~ County Road 15A and 20 feet from the primary internal access road labeled Jersey Avenue on the Conceptual Development Plan.
 - b. Lot setbacks are: Front Yard: 20 feet from face of garage, 15 feet from front facade of house; 10 feet on Corners
 - Rear Yard: 10 feet
 - Side Yard: 5 feet
2. Building height: Buildings shall not exceed 35 feet in height.
3. Minimum lot size: 4,000 square feet.
4. Minimum lot width: 40 feet. Lot sizes will range from 40 to 60 feet in width.
5. Maximum impervious surface ratio: ~~75~~50 percent for the Property: (the entire PUD).
6. Maximum lot coverage by buildings: 60 percent per Lot and 60 percent for the Property: (the entire PUD).
7. Density: There are approximately ~~462-developable~~561 acres designated for residential use within the Property. The ~~Medium Density~~ Residential Low Density Future Land Use designation of the Property allows a maximum density of ~~eight (8)~~four (4) units per acre. The proposed density of ~~4.5~~3.74 units per acre is consistent with the requirements for the ~~Medium-Density~~ Residential Low Density Future Land Use category set forth in the Green Cove Springs Comprehensive Plan.
8. Parking: Each residence will have two (2) parking spaces. Single-family homes will have enclosed garages that are a minimum of 200 square feet (10 feet by 20 feet).

2. Multi-Family/Townhome Criteria

a. Setbacks: The minimum building setbacks are as follows:

1. A minimum of 50 feet from the right-of-way of ~~U.S. Highway 17 and~~ County Road 15A and 20 feet from the primary internal access road labeled Jersey Avenue on the Conceptual Development Plan.
2. Lot setbacks are: Front Yard: 15 feet
Rear Yard: 10 feet
Side Yard: 10 feet from property lines, 0 feet for interior lots with common wall lines, minimum 20 feet of separation between buildings

b. Building height: Townhome and duplex buildings shall not exceed 45 feet in height. ~~Apartment buildings shall not exceed 60 feet in height.~~

c. Minimum lot size: 1,200 square feet

d. Minimum lot width: 15 feet.

e. Maximum impervious surface ratio: 75 percent.

f. Maximum lot coverage by buildings: 60 percent of the overall parcel.

g. Density. See Section E.1.a.7 for residential density calculation.

h. Parking:— Townhome units will have two (2) parking spaces per unit. Apartment units will have 1.75 parking spaces per unit. All multi-family parcels (townhomes and apartments) shall also include one (1) guest parking space for each four (4) dwelling units.

3. Signage

~~a. Project Identification Signage. On-site and off-site signs shall be permitted within and adjacent to the Property. Project signage shall meet the applicable requirements of Code Sections 125-13 and 125-14 except as follows:~~

~~i. At each project entrance along County Road 15A, the Applicant shall be permitted one (1) project identification ground sign, with a maximum of 150 square feet of advertising display area each. These signs will not exceed 25 feet in height. The general locations of these signs will be depicted on applicable construction plans. Such signs may be lighted or illuminated. The Applicant may construct a fence, masonry wall or berm or install landscaping and/or vegetation (or provide a combination thereof) to compliment the entrance feature.~~

~~ii. At each of the two (2) locations along U.S. Highway 17 depicted on the Conceptual Development Plan, the Applicant shall be permitted~~

~~one (1) project identification monument sign, with a maximum of 200 square feet of advertising display area each. These signs will not exceed 35 feet in height. Such signs may be lighted or illuminated.~~

- ~~iii. Temporary “for sale and “for lease” information signs, and construction and/or advertising signs shall be allowed as on-site temporary signs. Such signs must be removed within 30 days after the last unit is sold. The signs may be two (2) sided with each face limited to 32 square feet.~~
- ~~iv. Various directional, location, model and traffic control signs shall be allowed on-site to direct traffic and for identification of sales offices, amenity areas, etc. Such signs will be a maximum of three (3) square feet in size.~~

~~b. Residential Signage: On-site and off-site signs shall be permitted within and adjacent to the Property. Project signage shall meet the applicable requirements of Code Sections 125-13 and 125-14 except as follows:~~

- ~~i. At each project entrance along U.S. Highway 17 and At each project entrance along County Road 15A, the Applicant shall be permitted one (1) ground sign, with a maximum of 32 square feet of advertising display area. These signs will not exceed ~~15~~12 feet in height. The generation locations of these signs will be depicted on applicable construction plans. Project signs may be lighted or illuminated. The Applicant may construct a fence, masonry wall or berm or install landscaping and/or vegetation (or provide a combination thereof) to compliment the entrance feature.~~
- ~~ii.b. Construction and/or advertising signs shall be allowed as on-site temporary signs. Such signs must be removed within 30 days after the last unit is sold. The signs may be two (2) sided with each face limited to six (6) square feet.~~
- ~~iii.c. Various locational, directional, model home and traffic control signs shall be allowed on site to direct traffic and for identification of sales offices, recreation areas, etc. Such signs will be a maximum of three (3) square feet in size.~~

G. Infrastructure

1. Drainage: A master stormwater management system shall be constructed and maintained by a homeowners' association (“HOA”) or a community development district (“CDD”). The stormwater management system will be constructed in accordance with the requirements of the City of Green Cove Springs and the St. Johns River Water Management District. Final HOA or CDD documents will be submitted with the final plat application. The conceptual master stormwater plan for the entire PUD shall be approved prior to the City’s approval of the first final plat.

2. Site Access: Vehicular access within the Property connects off-site to County Road 15A and U.S. Highway 17 in the locations depicted on the Conceptual Development Plan. The primary site access collector road will be constructed in accordance with the typical section attached as Exhibit "C". Streets interior to the project shall be publicly dedicated. Traffic calming techniques, including but not limited to raised intersections, traffic circles and shared multi-modal spaces, will be encouraged.
3. Pedestrian Circulation: ~~Pedestrian circulation will be provided via sidewalks. Sidewalks interior to the project~~An eight (8)-foot multi-use path shall be provided along one side of the primary access collector road from U.S. 17 (if the PUD is connected to U.S. 17) to County Road 15A, through the Property to Jersey Avenue. No sidewalk shall be provided on the other side of such collector road. Internal project pedestrian circulation will be provided via sidewalks on one side of internal streets. No sidewalks will be provided on the other side of internal streets. Sidewalks shall be four (4) feet in width and shall be provided on one side of residential streets and on both sides of collector roads on which residential lots do not directly access. Sidewalks will connect to all project park sites. Any sidewalks constructed along County Road 15A shall be five (5) feet in width.
4. Parks, Open Space and Recreational Facilities: The project will provide a minimum of ~~17.5~~five (5) acres of parks for every 1,000 residents, per Comprehensive Plan Policy 6.3.4. The project will be presumed to have 2.4 residents per unit for the purposes of calculating park requirements under this PUD. The Applicant, its successors and assigns, will provide recreational facilities which may include an amenity center, swimming pool, playgrounds, tot lots, pickleball courts, dog parks, walking trails, multi-purpose trails and others to serve the community and neighborhood parks. ~~No regional parks will be located within the PUD boundaries.~~
5. Solid Waste Collection: Solid waste collection will be provided by a City-contracted waste collection company.
6. Utilities: Except for those utilities already in place, or the relocation of such utilities, all utilities within the Project shall be underground. As part of the subdivision approval of this project, Ayrshire will use existing water and sewer facilities for the initial phase of the development. Subsequent phases will be served by CCUA once its new water and wastewater plants are completed.
7. Transportation Systems: All transportation systems will comply with applicable provisions of City Code Chapter 113, Article II, Division 2, except for the primary access collector road, for which the typical section is attached as Exhibit "C", and except as otherwise set forth in this PUD ordinance and its exhibits.

H. Buffering and Landscaping

1. Perimeter Buffer: A natural or landscaped buffer a minimum ten (10)-foot wide shall be located along the perimeters of the Property, except that the buffer along County Road 15A, U.S. Highway 17 and the railroad line shall be fifty (50) feet wide. The Applicant will be permitted to construct sidewalks within the perimeter buffer, in the general locations depicted on the Conceptual Development Plan. Buffer areas will be owned and maintained by an HOA or CDD.
2. Landscaping. A typical landscape plan for the Property is attached hereto as Exhibit "CD". Tree mitigation and landscaping will comply with applicable provisions of Code Chapter 113, Article VI. Street trees for all roadways, including the north side of Jersey Avenue, shall comply with applicable provisions of City Code Section 113-244. Parking lots that contain more than 20 parking spaces shall meet applicable landscape requirements of City Code Section 113-246. The Applicant will provide tree surveys for portions of the Property subject to development with the filing of construction plans for such areas. Such tree surveys shall show all existing trees 12 inches diameter breast height or larger and shall detail which of such trees are proposed to be saved and removed. No tree surveys will be provided for areas of the Property that will remain undisturbed. A canopy tree of a minimum 2.5 inches diameter breast height at the time of planting shall be planted on each single-family lot prior to the City's issuance of a certificate of occupancy. Such trees shall be irrigated through the establishment period.
3. Upland Buffers: An averaged 25-foot natural vegetative upland buffer shall be required and maintained between developed area and contiguous wetlands. The 25 feet shall be measured from the State jurisdictional wetland line.

I. Temporary Uses

Ten (10) percent of the homes within the PUD may be constructed as model homes with approved construction plans. The model homes may be built during construction of the infrastructure and may be used for sales, administration and construction offices. The City will not issue certificates of occupancy for model homes until related infrastructure construction has been completed. Parking for the model homes and sales offices will be located within the driveway or adjacent lot. Model homes will be required to meet applicable building code requirements for business occupancy. Development of the site and construction of the improvements will require temporary uses such as construction trailers, sales offices, temporary signage and temporary access. Temporary construction and sales trailers will be removed no later than 30 days following the issuance of a certificate of occupancy for the last home constructed on the Property. The Applicant shall be permitted to erect temporary on-site construction and real estate signage on the Property.

J. Accessory Uses

Standard residential accessory uses will be allowed within the residential building areas of the site, including but not limited to decks, swimming pools, patios, air conditioning units, walkways and sidewalks.

Accessory uses such as private garages/mother-in-law suites and storage buildings; home ~~offices~~ occupations in compliance with applicable provisions of City Code Section 117-789; model homes; guardhouses; air conditioning units and related heating/cooling units; swimming pools and pool equipment; fences, walls or hedges; gazebos and other open-air structures; boardwalks, docks, and other similar uses shall be permitted within the Property. Accessory uses shall comply with the applicable development criteria set forth in Section E of this PUD text.

The following criteria will apply to mother-in-law suites:

1. The unit shall be accessory to and on the same property as a single-family dwelling unit.
2. The unit shall be developed in conjunction with or after development of the principal dwelling unit and the owner of the property must reside within either the principal or the accessory dwelling unit.
3. Not more than one (1) accessory dwelling unit per single-family residential lot is permitted.
4. No accessory dwelling unit shall be sold separately from the principal dwelling unit. The accessory dwelling unit and the principal dwelling unit shall be located on a single lot or parcel, or on a combination of lots or parcels.
5. The air-conditioned floor area of the accessory dwelling unit shall not exceed 50 percent of the air-conditioned floor area of the principal structure. The accessory dwelling unit shall be no less than 200 square feet of air-conditioned floor area.
6. The unit shall meet the site development criteria specified in Section E of this PUD text.
7. The unit shall be designed so that the exterior façade material is similar in appearance (material and color) of the existing principal structure.
8. A minimum of one (1), but not more than two (2) parking spaces shall be provided for the accessory dwelling unit, in addition to the spaces required for the principal dwelling unit.

9. Construction of the accessory dwelling unit, in combination with all structures on the property, shall not cause the maximum lot coverage of this PUD to be exceeded.

10. The accessory dwelling unit shall be serviced by centralized water and wastewater.

11. An accessory dwelling unit shall be treated as a multi-family unit for impact fees.

K. Project Phasing

The project will be constructed in one (1), 20-year phase. Construction will be commenced by 2024 and shall be completed by December 31, 2044. For purposes of this PUD, “commencement” shall mean securing approved construction drawings. “Completion” shall be defined as the installation of horizontal infrastructure and City approval of as-builts.

L. Ownership Agreement

The Applicant, on behalf of itself and its successors and assigns, hereby agrees and stipulates to proceed with the proposed development in accordance with the PUD ordinance for this application as adopted by the Green Cove Springs City Council. The Applicant also agrees to comply with all conditions and safeguards established by the City of Green Cove Springs with respect to this Planned Unit Development application.

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For a Point of Reference, commence at the intersection of the Easterly right of way line of County Road 15A, (South Oakridge Avenue), a 100 foot right of way as presently established with the Southerly right of way line of Green Cove Avenue, a variable width right of way as presently established; thence Southerly along said Easterly right of way line and along the arc of a curve concave Westerly having a radius of 1959.86 feet, through a central angle of 14°47'09", an arc length of 505.76 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 05°15'37" East, 504.36 feet; thence South 02°07'57" West, continuing along last said Easterly right of way line, 1331.79 feet to the Southwest corner of those lands described and recorded in Official Records Book 3863, page 203 of said Public Records and the Point of Beginning.

From said Point of Beginning, thence Easterly and Northeasterly along the Southerly and Southeasterly boundary of last said lands, the following 12 courses: Course 1, thence South 88°31'42" East, departing last said Easterly right of way line, 282.59 feet; Course 2, thence North 21°17'17" East, 161.55 feet; Course 3, thence South 68°42'43" East, 287.10 feet; Course 4, thence South 58°52'43" East, 32.90 feet; Course 5, thence South 37°48'54" East, 22.40 feet; Course 6, thence North 70°53'31" East, 15.20 feet; Course 7, thence North 34°14'49" East, 52.23 feet; Course 8, thence South 88°17'22" East, 94.17 feet; Course 9, thence North 31°43'31" East, 427.82 feet; Course 10, thence North 73°46'32" West, 158.11 feet; Course 11, thence North 13°06'51" East, 477.10 feet; Course 12, thence North 10°55'57" East, 142.00 feet to a point lying on the Southwesterly line of those lands described and recorded as Parcel "A" in Official Records Book 3316, page 1098 of said Public Records; thence South 77°06'26" East, along last said line, 2932.48 feet to the Northwest corner of those lands described and recorded in Official Records Book 3855, page 1391 of said Public Records; thence Southerly along the westerly line thereof, the following 3 courses: Course 1, thence South 21°54'49" East, 3242.16 feet; Course 2, thence South 68°05'09" West, 1307.43 feet; Course 3, thence South 21°54'51" East, 1003.87 feet to a point lying on the Northerly line of an Access and Maintenance Easement as described and recorded in Official Records Book 3855, page 1394 of said Public Records; thence Westerly along said Northerly line, the following 26 courses: Course 1, thence South 37°01'31" West, 149.07 feet to the point of curvature of a curve concave Northwesterly having a radius of 955.00 feet; Course 2, thence Southwesterly along the arc of said curve, through a central angle of 16°37'06", an arc length of 276.99 feet to a point on said curve, said arc being subtended by a chord bearing and distance of South 45°20'05" West, 276.02 feet; Course

3, thence South 67°24'13" West, along a non-tangent line, 105.10 feet; Course 4, thence South 53°45'05" West, 12.16 feet; Course 5, thence South 13°14'26" West, 24.72 feet; Course 6, thence South 63°07'28" West, 859.11 feet; Course 7, thence North 26°52'32" West, 5.00 feet; Course 8, thence South 63°07'28" West, 382.73 feet; Course 9, thence North 26°52'32" West, 31.65 feet; Course 10, thence South 63°07'28" West, 74.60 feet; Course 11, thence South 26°52'32" East, 36.65 feet; Course 12, thence South 63°07'28" West, 102.14 feet to the point of curvature of a curve concave Northerly having a radius of 955.00 feet; Course 13, thence Westerly along the arc of said curve, through a central angle of 22°47'15", an arc length of 379.82 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 74°31'05" West, 377.32 feet; Course 14, thence South 85°54'43" West, 731.91 feet; Course 15, thence North 04°05'17" West, 5.00 feet to a point on a non-tangent curve concave Northerly having a radius of 250.00 feet; Course 16, thence Westerly along the arc of said curve, through a central angle of 05°44'03", an arc length of 25.02 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 88°46'45" West, 25.01 feet; Course 17, thence North 88°21'14" West, 61.78 feet; Course 18, thence North 19°49'14" West, 8.30 feet; Course 19, thence North 55°44'57" West, 30.16 feet; Course 20, thence South 67°18'10" West, 29.23 feet; Course 21, thence South 07°09'24" West, 17.00 feet; Course 22, thence North 88°21'14" West, 362.37 feet; Course 23, thence South 01°38'46" West, 5.00 feet; Course 24 thence North 88°21'14" West, 800.00 feet; Course 25, thence North 01°38'46" East, 10.00 feet; Course 26, thence North 88°21'14" West, 355.52 feet to a point lying on the aforementioned Easterly right of way line of County Road 15A; thence North 02°07'57" East, along last said Easterly right of way line, 5150.65 feet to the Point of Beginning.

Containing 560.52 acres, more or less.

Exhibit "B"
Conceptual Development Plan

EXHIBIT "C"

Collector Road Typical Section

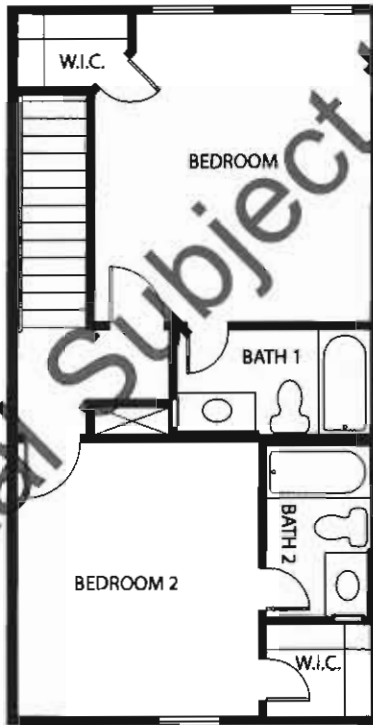
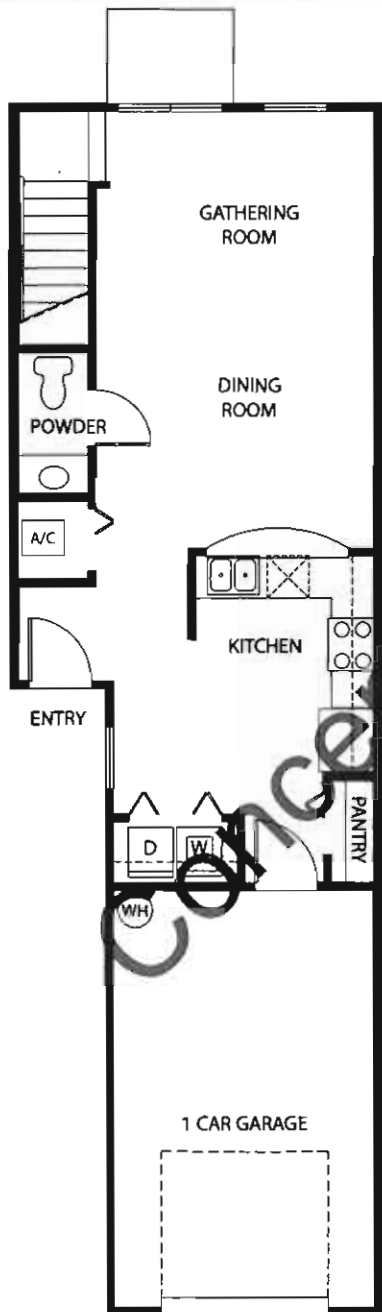
EXHIBIT "D"

Typical Landscape Plan

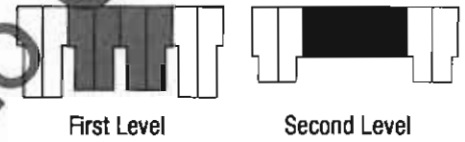
ASPEN

2 Bedroom | 2.5 Bathroom | 1 Car Garage
Approximately 1,210 Square Feet

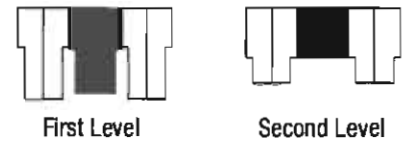
D·R·HORTON
America's Builder



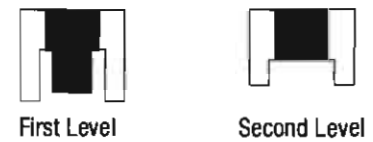
8 Home Building Layout



6 Home Building Layout



4 Home Building Layout

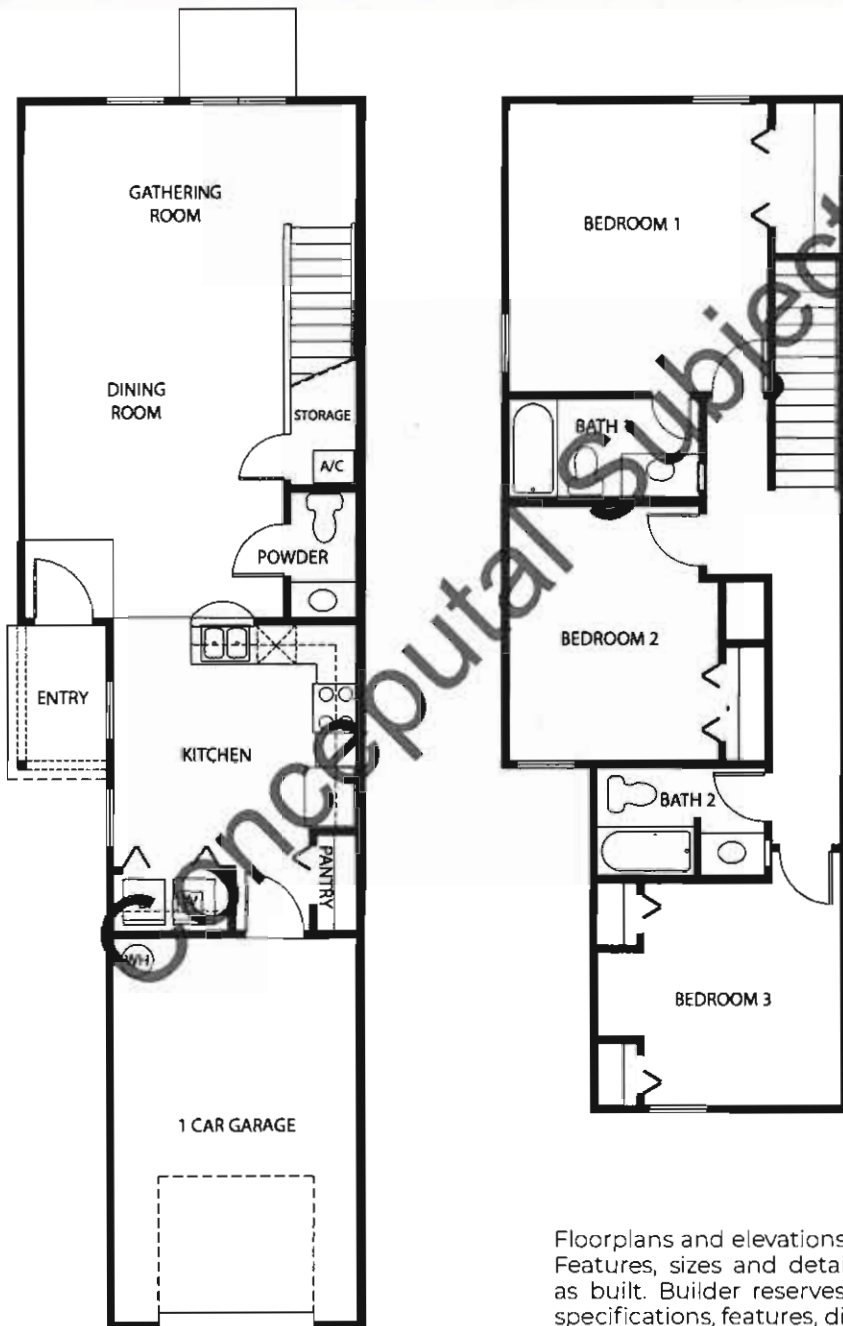


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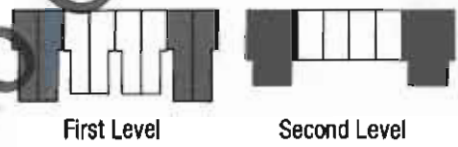
OAKLEY

3 Bedroom | 2.5 Bathroom | 1 Car Garage
Approximately 1,502 Square Feet

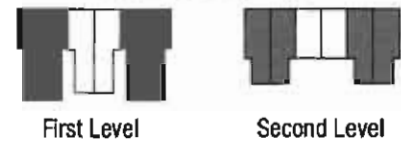
D·R·HORTON
America's Builder



8 Home Building Layout



6 Home Building Layout



4 Home Building Layout



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SAN MARCO

3 Bedroom | 2 Bathroom | 2 Car Garage
Approximately 1,557 Square Feet

D·R·HORTON
America's Builder



Traditional Elevation



Coastal Elevation



Key West Elevation

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HERON

3 Bedroom | 2 Bathroom | 2 Car Garage
Approximately 1,701 Square Feet

D·R·HORTON
America's Builder



Traditional Elevation



Coastal Elevation



Key West Elevation

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OSPREY

4 Bedroom | 2 Bathroom | 2 Car Garage
Approximately 1,913 Square Feet

D·R·HORTON
America's Builder



Traditional Elevation



Coastal Elevation



Key West Elevation

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LANTANA

4 Bedroom | 3 Bathroom | 2 Car Garage
Approximately 2,044 Square Feet

D·R·HORTON
America's Builder



Traditional Elevation



Coastal Elevation



Key West Elevation

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MANGROVE

3 or 4 Bedroom | 2.5 Bathroom | 2 Car Garage
Approximately 2,206 Square Feet

D·R·HORTON
America's Builder



Traditional Elevation



Coastal Elevation

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BOCA

5 Bedroom | 3 Bathroom | 2 Car Garage
Approximately 2,272 Square Feet

D·R·HORTON
America's Builder



Traditional Elevation



Coastal Elevation



Key West Elevation

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SOMERSET

3 or 4 Bedroom | 3 Bathroom | 2 Car Garage
Approximately 2,445 Square Feet

D·R·HORTON
America's Builder



Traditional Elevation



Coastal Elevation



Key West Elevation

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DESTIN II

4 Bedroom plus Bonus Room | 4 Bathroom | 3 Car Garage
Approximately 2,892 Square Feet

D·R·HORTON
America's Builder



Traditional Elevation



Coastal Elevation



Key West Elevation

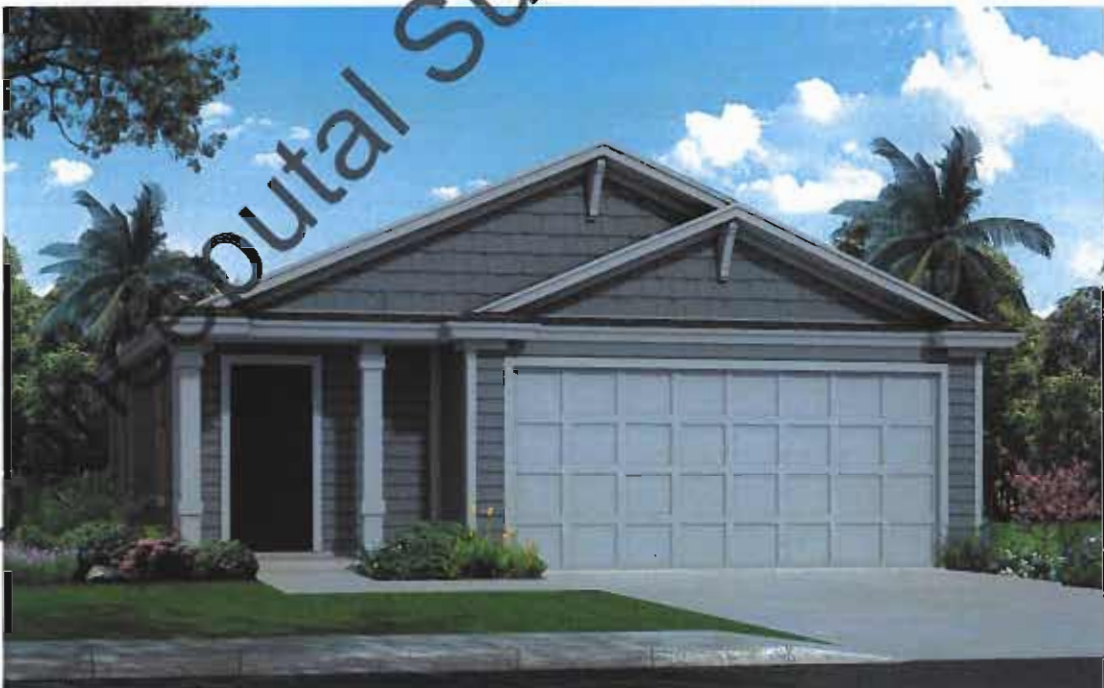
Elevations are artist's renderings for illustration purposes only. Features, sizes and details are approximate and will vary from the homes as built. Builder reserves the right to change and/or alter materials, specifications, features, dimensions and designs without prior notice or obligation. ©2018 D.R. Horton, Inc. CBC058997 Modified 11/13/20

Express HOMES

a D.R. Horton Company



Traditional Elevation



Craftsman Elevation

THE VERO

3 Bedroom | 2 Bath | 2 Car Garage
Approximately 1,222 Square Feet

Express HOMES

A D-R-Horton Company



Elevation "A"



Elevation "B"

THE SIESTA KEY

4 Bedroom | 2 Bath | 2 Car Garage
Approximately 1,490 Square Feet

Express HOMES

A D-R-Horton Company



Elevation "A"



Elevation "B"

THE ARIA

3 Bedroom | 2 Bath | 2 Car Garage
Approximately 1,714 Square Feet



Elevation "A"



Elevation "B"



Elevation "C"



Elevation "D"

THE CALI

4 Bedroom | 2 Bath | 2 Car Garage
Approximately 1,862 Square Feet

Express HOMES

a D.R. Horton Company



Traditional Elevation



Craftsman Elevation

THE DENTON

3 Bedroom | 2.5 Bath | 2 Car Garage
Approximately 2,103 Square Feet

Express HOMES

A D-R Horton Company



Elevation "A"



Elevation "B"

THE BRIGHTON
4 Bedroom | 2.5 Bath | 2 Car Garage
Approximately 2,492 Square Feet



Elevation "A"



Elevation "B"



Elevation "C"



Elevation "D"

THE HAYDEN

5 Bedroom | 3 Bath | 2 Car Garage
Approximately 2,499 Square Feet

AYRSHIRE DEVELOPMENT AGREEMENT

THIS AYRSHIRE DEVELOPMENT AGREEMENT (the “**Agreement**”) is made and entered into on this ____ day of _____, 2021, by and between **D.R. HORTON, INC. – JACKSONVILLE**, a Delaware corporation (the “**Applicant**”), and the **CITY OF GREEN COVE SPRINGS**, a municipal corporation organized and existing under the laws of the State of Florida (the “**City**”). City, and Applicant may sometimes be referred to herein, collectively, as the “**Parties**.”

A. The Applicant attests and warrants that it is the contract purchaser of the property described in **Exhibit “A”** attached hereto and incorporated herein by this reference, which is located within unincorporated Clay County, Florida (the “**Property**”), and that Philip A. Fremento, as the Division President of Applicant, is authorized to execute all binding documents on behalf of Applicant.

B. The Applicant has applied to voluntarily annex the Property into the City pursuant to Section 171.044, Florida Statutes, and Ordinance No. 2021-_____.

C. The Property is proposed to be given a Future Land Use Map (“**FLUM**”) designation of Residential Medium Density. The Property is proposed to be zoned to Planned Unit Development (the “**PUD**”) and will be developed in accordance with these applicable future land use and zoning designations.

D. The Applicant desires to develop a residential project to be called Ayrshire on the Property, with a maximum of 2,100 single-family and multi-family residential units (the “**Development**”).

E. The Applicant will construct certain public roadway, utility and other improvements, both on the Property and off-site, to mitigate for impacts of the Development, as set forth herein.

F. The Applicant and the City desire to enter into this Agreement to provide for the provision of certain site improvements that will benefit the Development and the public.

G. This Agreement is consistent with the City Charter, the City 2025 Comprehensive Plan and the City Land Development Code, as well as, with provisions of Chapter 163, Florida Statutes, Chapter 166, Florida Statutes, Chapter 187, Florida Statutes, Article VIII, Section 2(b), Constitution of the State of Florida and other applicable law and serves a public purpose.

H. The City has determined that the requirements of Section 163.3231, Florida Statutes, have been met in that:

- i. The City has adopted a local Comprehensive Plan that is in compliance.
- ii. The proposed development of the Property is consistent with the City of Green Cove Springs 2025 Comprehensive Plan, including the Future Land Use Map.
- iii. This Agreement constitutes a binding commitment on the part of the Applicant, its successors and assigns, to develop the Property consistent with the Comprehensive Plan and applicable provisions of the City of Green Cove Springs Land Development Code (the “City Code”).

I. The following is the Public Facility Schedule applicable to the development of the Property through the thirty (30) years of this Development Agreement, to 2051:

- i. Transportation. Transportation capacities will be provided by the City or other agency as set forth in its regulations and Capital Improvement Program, as amended from time to time, and in compliance with the provisions of this Agreement and the respective responsibilities of the parties.
- ii. Potable Water and Sanitary Sewer. The Clay County Utility Authority (the “CCUA”) will provide adequate water and wastewater service to the Property in accordance with local government development orders and interlocal agreements that have been and will be issued for development of the Property from time to time. The Applicant will construct water and sewer line extensions necessary to serve the Property, as well as other improvements in compliance with the provisions of this Agreement and the respective responsibilities of the parties.
- iii. Solid Waste. The City will provide solid waste disposal to the Property through its solid waste collection franchisee.
- iv. Drainage. Concurrently with development of the Property or portions thereof, the Applicant will provide drainage in accordance with St. Johns River Water Management District rules and in accordance with local government development orders that have been and will be issued for development of the Property from time to time, as well as other improvements in compliance with the provisions of this Agreement and the respective responsibilities of the parties.
- v. Parks/Open Space. Concurrently with development of the Property or portions thereof, the Applicant will provide parks and open space as required in applicable provisions of the City Comprehensive Plan and PUD ordinance for the Property.

J. The population density and maximum height possible for the Development under its FLUM, the PUD and current City Code include all uses in the Residential Low Density zoning district, up to a maximum of eight (8) units per developable acre.

K. This Agreement strengthens the public planning process, encourages sound capital improvement planning and financing, assists in assuring there are adequate capital

facilities for the development, encourages private participation and comprehensive planning and reduces the costs of development.

NOW, THEREFORE, in consideration of the mutual terms, covenants, and conditions in this Agreement, and other good and valuable consideration, the receipt and sufficiency of which are acknowledged, the Parties agree as follows:

1. **Findings of Fact.** The Recitals set forth above are true and correct and are incorporated herein by reference as Findings of Fact.

2. **Purpose and Intent.** The Applicant and the City desire to enter into this Agreement to address their respective responsibilities for both on-site and off-site improvements related to the Development. The Parties intend to utilize this Agreement to identify the methodology to be used for allocating costs for the potable water system, the sanitary sewer system, the stormwater system and the transportation system. In addition, the Agreement identifies the available credits to the Applicant, the potential for future credits, and the City's share of financial responsibility for improvements that may benefit the City's overall utility, stormwater and transportation systems beyond that needed for this Development. The Parties do not intend to vest the Development to current land development regulations, and Applicant or its successors and assigns will be required to meet all applicable codes at the time individual development orders or permits are sought.

3. **Public Facility Improvements.** The Parties contemplate that the CCUA will provide water and sanitary sewer services to the Property pursuant to separate utility agreements between CCUA and the Applicant. The Applicant agrees that Applicant or the developer of each property, as they are developed, within the Property, shall pay the water/sewer connection/tap costs/fees for lots, units or structures within the project at the time of issuance of a building permit for the particular improvement. The Applicant agrees that Applicant or the developer of each property, as they are developed, within the Property, shall abide by all applicable federal, state and local codes, design, permitting and construction standards, requirements, policies, rules and regulations for civil site plan, utilities, stormwater and buildings. In addition, the Parties agree to the following utility and infrastructure improvements:

A. **Potable Water System.**

- i. Applicant shall comply with all codes, laws and regulations necessary for the development of the Property applicable at the time each development permit is issued and will pay all usual and customary costs associated with providing potable water on-site to the Property for its intended uses.
- ii. Applicant agrees to provide to CCUA any necessary easements on, under and across the Property for the construction, operation and maintenance of the potable water system.
- iii. Applicant shall be permitted to temporarily connect to the City water system for the first phase of the Development. If temporary capacity is

needed, the Applicant will provide such capacity in coordination with the City's Public Works Department.

B. Sanitary Sewer System.

- i. Applicant shall comply with all codes, laws and regulations necessary for the development of the Property applicable at the time each development permit is issued and will pay all usual and customary costs associated with providing sanitary sewer onsite to the Property for its intended uses.
- ii. Applicant agrees to provide to CCUA any necessary easements on, under and across the Property for the construction, operation and maintenance of the sanitary sewer system.
- iii. Applicant shall be permitted to temporarily connect to the City sewer system for the first phase of the Development. If temporary capacity is needed, the Applicant will provide such capacity in coordination with the City's Public Works Department.

C. Stormwater System.

- i. Applicant shall comply with all codes, laws and regulations necessary for the development of the Property applicable at the time each development permit is issued and will pay all usual and customary costs associated with providing stormwater capture, retention and treatment on-site to the Property for its intended uses.
- ii. Applicant agrees to provide to the City any necessary easements on, under and across the Property for the construction, operation and maintenance of the stormwater system.

D. Police Substation.

- i. The Applicant will provide a police substation office in the amenity center for the Development. Parking for the substation will be provided in the amenity center parking lot.

4. Transportation/Mobility Improvements. In addition to the public facility improvements provided for in Section 3 hereof, the Applicant and the City will cooperate in providing the following transportation and mobility improvements related to the Development:

A. The Applicant shall construct, at the Applicant's expense, a collector road (the "**Connector Road**") that will run west from U.S. Highway 17, through the City's regional park site, into the Property and connect to County Road 15A, as depicted on the conceptual plan attached hereto as Exhibit "B" and incorporated herein by this reference (the "**Conceptual Plan**"). A typical section for the Connector Road is attached hereto as Exhibit "C" and incorporated herein by this reference (the "**Connector Road Typical Section**"). The Applicant, its successors and assigns, shall pay for the cost of designing, permitting and constructing the

Connector Road and shall receive road impact fee credits (or proportionate share or mobility fee credits, if applicable) equal to the actual cost of designing, permitting and constructing the Connector Road. Design of the Connector Road will conform to applicable requirements of the Florida Department of Transportation and the City. Once constructed, the Connector Road will be maintained by the City. The City will not issue certificates of occupancy for more than 231 residential units within the Development until either the Applicant completes construction of the Connector Road to U.S. 17 or provides a new traffic study if such connection to U.S. 17 cannot be achieved due to the location of the railroad tracks west of U.S. 17.

B. The Applicant shall construct the Connector Road through the City regional park site, at the Applicant's expense. The Applicant will also stub out water and sewer lines it installs within the Property to the southern boundary of the City regional park site, if so requested by the City.

C. The Applicant and the City agree that based on the Applicant's traffic study submitted with the companion Comprehensive Plan Amendment application for the Property, no proportionate fair share, mobility or other similar mitigation payment shall be due related to the Development's projected impacts to the regional roadway network. An interim traffic study addressing traffic distribution shall be required by the Applicant every five (5) years. The interim traffic study shall examine the Development's traffic distribution and its impact on segment and intersection analysis to determine if additional traffic mitigation requirements are required.

5. Land Contributions.

A. Police Substation. The Applicant shall dedicate to the City a parcel of approximately one-half (1/2) acre on which to locate a police substation (the "**Substation Site**"). The Substation Site will be located within one of the Development recreation areas, as depicted on the Conceptual Plan.

B. School Site. The Applicant will offer to dedicate to the Clay County School Board a parcel of approximately 20 acres on which to construct a public elementary school (the "**Public School Site**"). The location of the proposed Public School Site is depicted on the Conceptual Plan. The Applicant, its successors and assigns, will comply with applicable provisions of Section 163.3180(6), Florida Statutes, in providing any required school proportionate share mitigation, which may include dedication of the Public School Site, and will pay any applicable school impact fees for the Development in the timing and manner required by law.

C. Land Swap. The Applicant will exchange an approximately five (5)-acre parcel within the Property, in the location labeled "Land Swap" on the Conceptual Plan, with the City for the right-of-way for the Connector Road within the City's regional park site, which is approximately five (5) acres. The exchanged parcels have equal value so no compensation will be due from either the Applicant or the City related to the exchange parcels. The Applicant will prepare all deeds, legal descriptions and sketches of description for the parcel exchange, at its expense.

6. **Park Contribution.** The Applicant shall pay a per-unit park fee to the City for construction of improvements within the Gustafson Regional Park, which is adjacent to the Development. The per-unit fee shall be \$135, which shall be paid by the Applicant to the City upon the filing of a building permit application. In the event that Gustafson Regional Park improvements are not constructed by the City, the City can use the funds paid by the Applicant pursuant to this Section 6 for improvements to other City parks.

7. **Development Timing.** The Property is intended to be developed with the phasing set forth in the PUD, which provides the Development will be constructed in one (1), 20-year phase. Construction will be commenced by December 31, 2024 and shall be completed by December 31, 2044. For purposes of the PUD, “commencement” means securing approved construction drawings for the first portion of the Development and “completion” is defined as the installation of horizontal infrastructure and City approval of as-builts. The City shall review the Development at least once every twelve (12) months to determine if there has been demonstrated good faith compliance with this Agreement, pursuant to Section 163.3235, Florida Statutes.

8. **Authority and Duration.** This Agreement is made and granted pursuant to Sections 163.3220-163.3243, Florida Statutes, and is effective through the thirtieth (30th) anniversary of the Effective Date of this Agreement, and any extension of this Agreement.

9. **Amendment, Extension of Agreement.** If state or federal laws are enacted after the execution of this Agreement that are applicable to and preclude the Parties’ compliance with the terms of this Agreement, this Agreement shall be modified or revoked as necessary to comply with the relevant State or federal laws, pursuant to Section 163.3241, Florida Statutes, as may be amended from time to time. The duration of this Agreement may be extended by the City pursuant to law and after conducting a public hearing in the manner specified in Section 163.3225, Florida Statutes, as may be amended from time to time.

10. **Necessity to Obtain Permits.** The Applicant acknowledges its obligation to obtain all necessary federal, state and other local development permits (not mentioned herein) for development of the Property. The failure of this Agreement to address any particular permit, condition, term or restriction applicable to development of the Property shall not relieve the Applicant or any successors or assigns of the necessity of complying with federal, state, and other local permitting requirements, conditions, terms or restrictions as may be applicable.

11. **Agreement Consistent with Comprehensive Plan and Section 163.3180, Florida Statutes (2020).** The City hereby acknowledges and agrees that (i) the Development is consistent with Florida Statutes and with the City’s Comprehensive Plan and Land Development Regulations, and (ii) that the City’s Comprehensive Plan is in compliance with the State of Florida Comprehensive Plan.

12. **Remedies.** Each party to this Agreement shall be entitled to seek enforcement of this Agreement against the other party consistent with Section 163.3243, Florida Statutes, as may be amended from time to time.

13. **Binding Effect.** The burdens of this Agreement shall be binding upon, and the benefits of this Agreement shall inure to, all successors in interest to the Parties to this

Agreement. When Applicant is used in this Agreement, it includes Applicant and any successors and assigns owning any rights to the Property, jointly and severally assuming all the obligations set out in the Agreement, unless the obligations have been fully discharged.

14. **Applicable Law: Jurisdiction and Venue.** This Agreement and the rights and obligations of the City and Applicant under this Agreement shall be governed by, construed under, and enforced in accordance with the laws of the State of Florida (2020). This Agreement may be enforced as provided in Section 163.3243, Florida Statutes, as may be amended from time to time. Venue for any litigation pertaining to the subject matter of this Agreement shall be exclusively in Clay County, Florida. If any provision of this Agreement, or the application of this Agreement to any person or circumstances, shall to any extent be held invalid or unenforceable by a court of competent jurisdiction, then the remainder of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

The fact that this Agreement does not detail all laws, rules, regulations, permits, conditions, terms and restrictions that must be satisfied to complete the Development contemplated by this Agreement shall not relieve Applicant or its successors in interest of the obligation to comply with the law governing such permit requirements, conditions, terms and restrictions.

15. **Joint Preparation.** Preparation of this Agreement has been a joint effort of the parties and the resulting document shall not, solely as a matter of judicial construction, be construed more severely against one of the parties than the other.

16. **Exhibits.** All exhibits attached to this Agreement contain additional terms of this Agreement and are incorporated into this Agreement by reference.

17. **Captions or Paragraph Headings.** Captions and paragraph headings contained in this Development Agreement are for convenience and reference only, and in no way define, describe, extend or limit the scope of intent of this Agreement, nor the intent of any provision of this Agreement.

18. **Counterparts.** This Agreement may be executed in counterparts, each constituting a duplicate original; such counterparts shall constitute one and the same Agreement.

19. **Effective Date and Recordation.** This Agreement shall become effective fifteen (15) days after it has been recorded in the Public Records of Clay County (the “Effective Date”).

20. **Amendment.** This Agreement may be amended, cancelled or revoked consistent with the notice and hearing procedures of Section 163.3225, Florida Statutes, and the terms of Section 163.3237, Florida Statutes, as may be amended from time to time.

21. **Further Assurances.** Each party to this Agreement agrees to do, execute, acknowledge and deliver, or cause to be done, executed, acknowledged and delivered, all such further acts, and assurances in a manner and to the degree allowed by law, as shall be reasonably requested by the other party in order to carry out the intent of and give effect to this Agreement. Without in any manner limiting the specific rights and obligations set forth in this Agreement or illegally limiting or infringing upon the governmental authority of the City, the Parties declare

their intention to cooperate with each other in effecting the purposes of this Agreement, and to coordinate the performance of their respective obligations under the terms of this Agreement.

22. **Notices.** Any notices or reports required by this Development Agreement shall be sent to the following:

To the City: City Manager
City of Green Cove Springs
321 Walnut Street
Green Cove Springs, Florida 32043

With copies to: Jim Arnold, Attorney
City of Green Cove Springs
321 Walnut Street
Green Cove Springs, Florida 32043
cityattorney@greencovesprings.com

To the Applicant: D.R. Horton, Inc. – Jacksonville
Attn: John R. Gislason
4220 Race Track Road
St. Johns, Florida 32259

With copies to: Ellen Avery-Smith, Esq.
Rogers Towers, P.A.
100 Whetstone Place, Suite 200
St. Augustine, Florida 32086

Passed and Duly Adopted by the City Commission of the City of St. Augustine, Florida this ____ day of _____, 2021.

Attest:

CITY OF GREEN COVE SPRINGS,
FLORIDA, a municipal corporation

By: _____
Steve Kennedy, City Manager

Approved as to form, legal sufficiency and execution:

By: _____
L.J. Arnold, III, City Attorney

Signed, sealed and delivered in the presence of:

D.R. HORTON INC. -JACKSONVILLE,
a Delaware corporation

Witness
Print Name: _____

By: _____
Its: _____
Date: _____

Witness
Print Name: _____

STATE OF FLORIDA

COUNTY OF _____

The foregoing instrument was acknowledged before me by means of ___ physical presence or ___ online notarization on this day ___ of _____, 2021, by _____, as _____ of D.R. Horton, Inc. - Jacksonville., a Delaware corporation, on behalf of the corporation, who is (check one) personally known to me or has produced a valid driver's license as identification.

Notary Public
Name: _____
Commission Expires: _____

EXHIBIT "A"

The Property

A portion of Section 38 of the George I.F. Clarke Grant, Township 6 South, Range 26 East, Clay County, Florida, being a portion of those lands described and recorded in Official Records Book 1545, page 513 of the Public Records of said county and being more particularly described as follows:

For a Point of Reference, commence at the intersection of the Easterly right of way line of County Road 15A, (South Oakridge Avenue), a 100 foot right of way as presently established with the Southerly right of way line of Green Cove Avenue, a variable width right of way as presently established; thence Southerly along said Easterly right of way line and along the arc of a curve concave Westerly having a radius of 1959.86 feet, through a central angle of 14°47'09", an arc length of 505.76 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South 05°15'37" East, 504.36 feet; thence South 02°07'57" West, continuing along last said Easterly right of way line, 1331.79 feet to the Southwest corner of those lands described and recorded in Official Records Book 3863, page 203 of said Public Records and the Point of Beginning.

From said Point of Beginning, thence Easterly and Northeasterly along the Southerly and Southeasterly boundary of last said lands, the following 12 courses: Course 1, thence South 88°31'42" East, departing last said Easterly right of way line, 282.59 feet; Course 2, thence North 21°17'17" East, 161.55 feet; Course 3, thence South 68°42'43" East, 287.10 feet; Course 4, thence South 58°52'43" East, 32.90 feet; Course 5, thence South 37°48'54" East, 22.40 feet; Course 6, thence North 70°53'31" East, 15.20 feet; Course 7, thence North 34°14'49" East, 52.23 feet; Course 8, thence South 88°17'22" East, 94.17 feet; Course 9, thence North 31°43'31" East, 427.82 feet; Course 10, thence North 73°46'32" West, 158.11 feet; Course 11, thence North 13°06'51" East, 477.10 feet; Course 12, thence North 10°55'57" East, 142.00 feet to a point lying on the Southwesterly line of those lands described and recorded as Parcel "A" in Official Records Book 3316, page 1098 of said Public Records; thence South 77°06'26" East, along last said line, 2932.48 feet to the Northwest corner of those lands described and recorded in Official Records Book 3855, page 1391 of said Public Records; thence Southerly along the westerly line thereof, the following 3 courses: Course 1, thence South 21°54'49" East, 3242.16 feet; Course 2, thence South 68°05'09" West, 1307.43 feet; Course 3, thence South 21°54'51" East, 1003.87 feet to a point lying on the Northerly line of an Access and Maintenance Easement as described and recorded in Official Records Book 3855, page 1394 of said Public Records; thence Westerly along said Northerly line, the following 26 courses: Course 1, thence South 37°01'31" West, 149.07 feet to the point of curvature of a curve concave Northwesterly having a radius of 955.00 feet; Course 2, thence Southwesterly along the arc of said curve, through a central angle of 16°37'06", an arc length of 276.99 feet to a point on said curve, said arc being subtended by a chord bearing and distance of South 45°20'05" West, 276.02 feet; Course 3, thence South 67°24'13" West, along a non-tangent line, 105.10 feet; Course 4, thence South 53°45'05" West, 12.16 feet; Course 5, thence South 13°14'26" West, 24.72 feet; Course 6, thence South 63°07'28" West, 859.11 feet; Course 7, thence North 26°52'32" West, 5.00 feet; Course 8, thence South 63°07'28" West, 382.73 feet; Course 9, thence North 26°52'32" West,

31.65 feet; Course 10, thence South $63^{\circ}07'28''$ West, 74.60 feet; Course 11, thence South $26^{\circ}52'32''$ East, 36.65 feet; Course 12, thence South $63^{\circ}07'28''$ West, 102.14 feet to the point of curvature of a curve concave Northerly having a radius of 955.00 feet; Course 13, thence Westerly along the arc of said curve, through a central angle of $22^{\circ}47'15''$, an arc length of 379.82 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South $74^{\circ}31'05''$ West, 377.32 feet; Course 14, thence South $85^{\circ}54'43''$ West, 731.91 feet; Course 15, thence North $04^{\circ}05'17''$ West, 5.00 feet to a point on a non-tangent curve concave Northerly having a radius of 250.00 feet; Course 16, thence Westerly along the arc of said curve, through a central angle of $05^{\circ}44'03''$, an arc length of 25.02 feet to the point of tangency of said curve, said arc being subtended by a chord bearing and distance of South $88^{\circ}46'45''$ West, 25.01 feet; Course 17, thence North $88^{\circ}21'14''$ West, 61.78 feet; Course 18, thence North $19^{\circ}49'14''$ West, 8.30 feet; Course 19, thence North $55^{\circ}44'57''$ West, 30.16 feet; Course 20, thence South $67^{\circ}18'10''$ West, 29.23 feet; Course 21, thence South $07^{\circ}09'24''$ West, 17.00 feet; Course 22, thence North $88^{\circ}21'14''$ West, 362.37 feet; Course 23, thence South $01^{\circ}38'46''$ West, 5.00 feet; Course 24 thence North $88^{\circ}21'14''$ West, 800.00 feet; Course 25, thence North $01^{\circ}38'46''$ East, 10.00 feet; Course 26, thence North $88^{\circ}21'14''$ West, 355.52 feet to a point lying on the aforementioned Easterly right of way line of County Road 15A; thence North $02^{\circ}07'57''$ East, along last said Easterly right of way line, 5150.65 feet to the Point of Beginning.

Containing 560.52 acres, more or less.

EXHIBIT "B"
Conceptual Plan

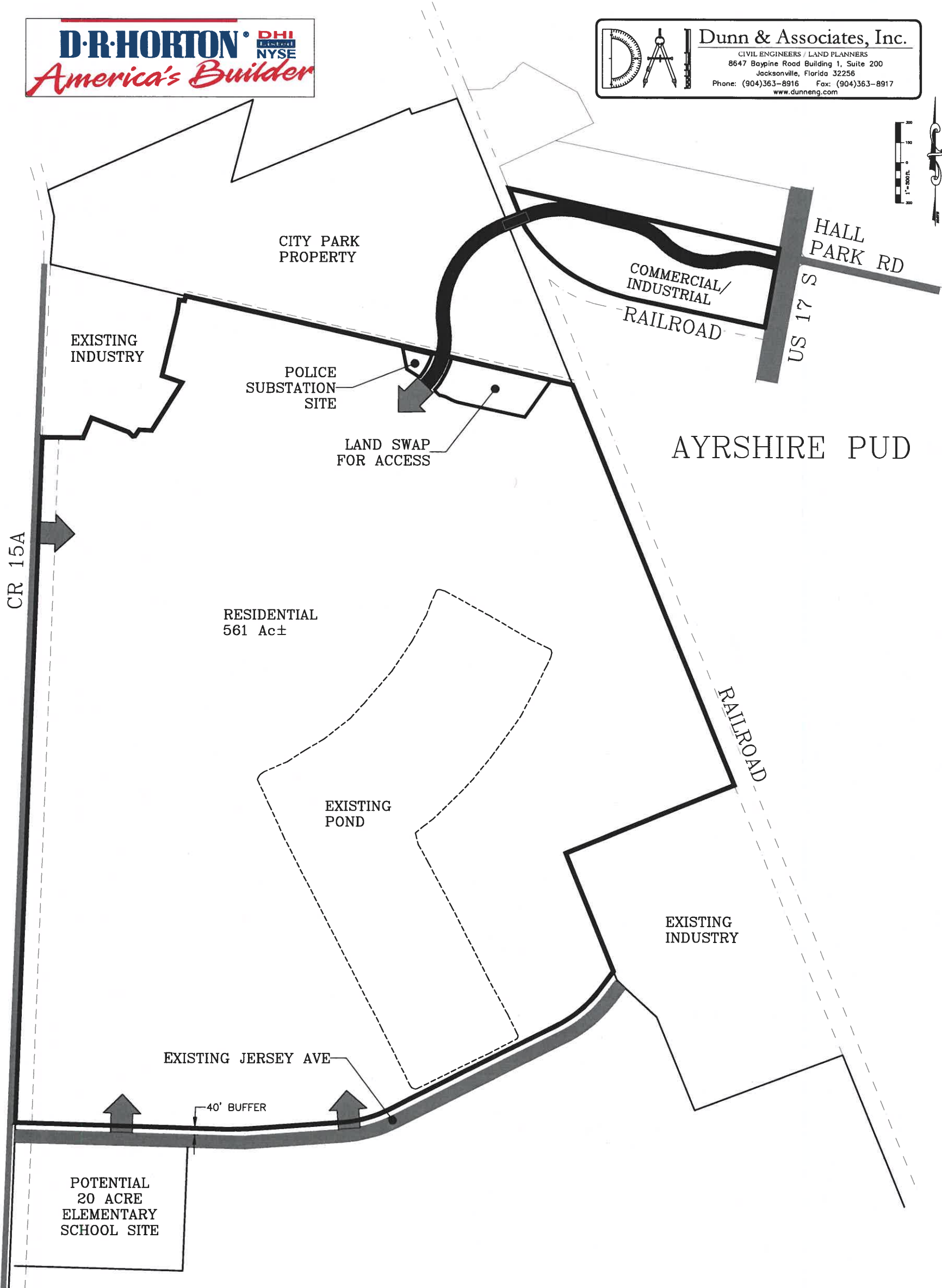
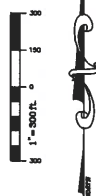
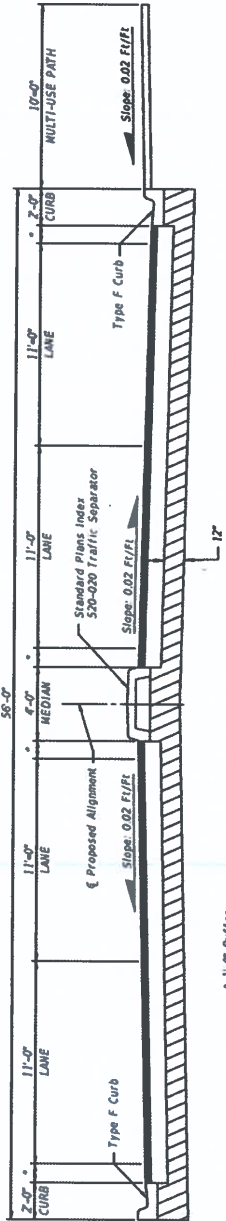


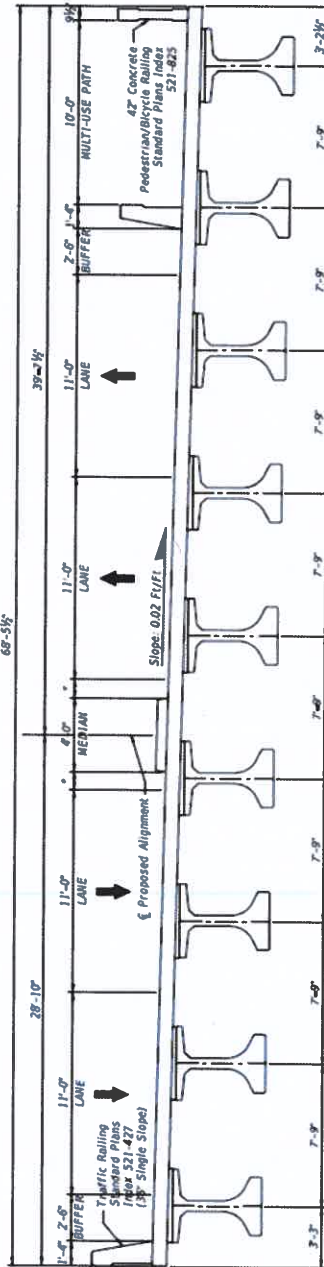
EXHIBIT "C"

Connector Road Typical Section

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 6105-23.004, F.A.C.



TYPICAL ROADWAY SECTION



TYPICAL BRIDGE SECTION

BRIDGE NO. XXXXX		TYPICAL SECTIONS	
STATE OF FLORIDA		AYRSHIRE BRIDGE OVER CSX RAILROAD	
DEPARTMENT OF TRANSPORTATION			
DESIGNED BY	DATE	CHECKED BY	DATE
DWANE MERRILL, P.E.	10/15/10		
P.E. LICENSE NUMBER 36843			
1200 AIRBORNE BLVD, STE 600			
JACKSONVILLE, FL 32207			
SCALE	DATE	SCALE	DATE
AS SHOWN		AS SHOWN	
DATE	DATE	DATE	DATE

AYRSHIRE DEVELOPMENT AGREEMENT

THIS AYRSHIRE DEVELOPMENT AGREEMENT (the “**Agreement**”) is made and entered into on this ____ day of _____, 2021, by and between **D.R. HORTON, INC. – JACKSONVILLE**, a Delaware corporation (the “**Applicant**”), and the **CITY OF GREEN COVE SPRINGS**, a municipal corporation organized and existing under the laws of the State of Florida (the “**City**”). City, and Applicant may sometimes be referred to herein, collectively, as the “**Parties.**”

A. The Applicant attests and warrants that it is the contract purchaser of the property described in **Exhibit “A”** attached hereto and incorporated herein by this reference, which is located within unincorporated Clay County, Florida (the “**Property**”), and that _____, **Philip A. Fremento**, as the _____ **Division President** of Applicant, is authorized to execute all binding documents on behalf of Applicant.

B. The Applicant has applied to voluntarily annex the Property into the City pursuant to Section 171.044, Florida Statutes, and Ordinance No. 2021-_____.

C. The Property is proposed to be given a Future Land Use Map (“**FLUM**”) designation of Residential Medium Density. The Property is proposed to be zoned to Planned Unit Development (the “**PUD**”) and will be developed in accordance with these applicable future land use and zoning designations.

D. The Applicant desires to develop a residential project to be called Ayrshire on the Property, with a maximum of 2,100 single-family and multi-family residential units (the “**Development**”).

E. The Applicant will construct certain public roadway, utility and other improvements, both on the Property and off-site, to mitigate for impacts of the Development, as set forth herein.

F. The Applicant and the City desire to enter into this Agreement to provide for the provision of certain site improvements that will benefit the Development and the public.

G. This Agreement is consistent with the City Charter, the City 2025 Comprehensive Plan and the City Land Development Code, as well as, with provisions of Chapter 163, Florida Statutes, Chapter 166, Florida Statutes, Chapter 187, Florida Statutes, Article VIII, Section 2(b), Constitution of the State of Florida and other applicable law and serves a public purpose.

H. The City has determined that the requirements of Section 163.3231, Florida Statutes, have been met in that:

- i. The City has adopted a local Comprehensive Plan that is in compliance.
- ii. The proposed development of the Property is consistent with the City of Green Cove Springs 2025 Comprehensive Plan, including the Future Land Use Map.
- iii. This Agreement constitutes a binding commitment on the part of the Applicant, its successors and assigns, to develop the Property consistent with the Comprehensive Plan and applicable provisions of the City of Green Cove Springs Land Development Code (the “City Code”).

I. The following is the Public Facility Schedule applicable to the development of the Property through the thirty (30) years of this Development Agreement, to 2051:

- i. Transportation. Transportation capacities will be provided by the City or other agency as set forth in its regulations and Capital Improvement Program, as amended from time to time, and in compliance with the provisions of this Agreement and the respective responsibilities of the parties.
- ii. Potable Water and Sanitary Sewer. The Clay County Utility Authority (the “CountyCCUA”) will provide adequate water and wastewater service to the Property in accordance with local government development orders and interlocal agreements that have been and will be issued for development of the Property from time to time. The Applicant will construct water and sewer line extensions necessary to serve the Property, as well as other improvements in compliance with the provisions of this Agreement and the respective responsibilities of the parties.
- iii. Solid Waste. The City will provide solid waste disposal to the Property through its solid waste collection franchisee.
- iv. Drainage. Concurrently with development of the Property or portions thereof, the Applicant will provide drainage in accordance with St. Johns River Water Management District rules and in accordance with local government development orders that have been and will be issued for development of the Property from time to time, as well as other improvements in compliance with the provisions of this Agreement and the respective responsibilities of the parties.
- v. Parks/Open Space. Concurrently with development of the Property or portions thereof, the Applicant will provide parks and open space as required in applicable provisions of the City Comprehensive Plan and PUD ordinance for the Property.

J. The population density and maximum height possible for the Development under its FLUM, the PUD and current City Code include all uses in the Residential MediumLow Density zoning district, up to a maximum of eight (8) units per developable acre.

K. This Agreement strengthens the public planning process, encourages sound capital improvement planning and financing, assists in assuring there are adequate capital facilities for the development, encourages private participation and comprehensive planning and reduces the costs of development.

NOW, THEREFORE, in consideration of the mutual terms, covenants, and conditions in this Agreement, and other good and valuable consideration, the receipt and sufficiency of which are acknowledged, the Parties agree as follows:

1. **Findings of Fact.** The Recitals set forth above are true and correct and are incorporated herein by reference as Findings of Fact.

2. **Purpose and Intent.** The Applicant and the City desire to enter into this Agreement to address their respective responsibilities for both on-site and off-site improvements related to the Development. The Parties intend to utilize this Agreement to identify the methodology to be used for allocating costs for the potable water system, the sanitary sewer system, the stormwater system and the transportation system. In addition, the Agreement identifies the available credits to the Applicant, the potential for future credits, and the City's share of financial responsibility for improvements that may benefit the City's overall utility, stormwater and transportation systems beyond that needed for this Development. The Parties do not intend to vest the Development to current land development regulations, and Applicant or its successors and assigns will be required to meet all applicable codes at the time individual development orders or permits are sought.

3. **Public Facility Improvements.** The Parties contemplate that the ~~County~~CCUA will provide water and sanitary sewer services to the Property pursuant to separate utility agreements between ~~the County~~CCUA and the Applicant. The Applicant agrees that Applicant or the developer of each property, as they are developed, within the Property, shall pay the water/sewer connection/tap costs/fees for lots, units or structures within the project at the time of issuance of a building permit for the particular improvement. The Applicant agrees that Applicant or the developer of each property, as they are developed, within the Property, shall abide by all applicable federal, state and local codes, design, permitting and construction standards, requirements, policies, rules and regulations for civil site plan, utilities, stormwater and buildings. In addition, the Parties agree to the following utility and infrastructure improvements:

A. **Potable Water System.**

- i. Applicant shall comply with all codes, laws and regulations necessary for the development of the Property applicable at the time each development permit is issued and will pay all usual and customary costs associated with providing potable water on-site to the Property for its intended uses.
- ii. Applicant agrees to provide to ~~the County~~CCUA any necessary easements on, under and across the Property for the construction, operation and maintenance of the potable water system.

- iii. Applicant shall be permitted to temporarily connect to the City water system for the first phase of the Development. If temporary capacity is needed, the Applicant will provide such capacity in coordination with the City's Public Works Department.

B. Sanitary Sewer System.

- i. Applicant shall comply with all codes, laws and regulations necessary for the development of the Property applicable at the time each development permit is issued and will pay all usual and customary costs associated with providing sanitary sewer onsite to the Property for its intended uses.
- ii. Applicant agrees to provide to ~~the County~~CCUA any necessary easements on, under and across the Property for the construction, operation and maintenance of the sanitary sewer system.
- iii. Applicant shall be permitted to temporarily connect to the City sewer system for the first phase of the Development. If temporary capacity is needed, the Applicant will provide such capacity in coordination with the City's Public Works Department.

C. Stormwater System.

- i. Applicant shall comply with all codes, laws and regulations necessary for the development of the Property applicable at the time each development permit is issued and will pay all usual and customary costs associated with providing stormwater capture, retention and treatment on-site to the Property for its intended uses.
- ii. Applicant agrees to provide to the City any necessary easements on, under and across the Property for the construction, operation and maintenance of the stormwater system.

D. Police Substation.

- i. The Applicant will provide a police substation office in the amenity center for the Development. Parking for the substation will be provided in the amenity center parking lot.

4. **Transportation/Mobility Improvements.** In addition to the public facility improvements provided for in Section 3 hereof, the Applicant and the City will cooperate in providing the following transportation and mobility improvements related to the Development:

A. The Applicant shall construct, at the Applicant's expense, a collector road (the "**Connector Road**") that will run west from U.S. Highway 17, through the City's regional park site, into the Property and connect to County Road 15A, as depicted on the conceptual plan attached hereto as **Exhibit "B"** and incorporated herein by this reference (the "**Conceptual Plan**"). A typical section for the Connector Road is attached hereto as **Exhibit "C"** and

incorporated herein by this reference (the “**Connector Road Typical Section**”). The Applicant, its successors and assigns, shall pay for the cost of designing, permitting and constructing the Connector Road and shall receive road impact fee credits (or proportionate share or mobility fee credits, if applicable) equal to the actual cost of designing, permitting and constructing the Connector Road. Design of the Connector Road will conform to applicable requirements of the Florida Department of Transportation and the City. Once constructed, the Connector Road will be maintained by the City. The City will not issue certificates of occupancy for more than 231 residential units within the Development until either the Applicant completes construction of the Connector Road to U.S. 17 or provides a new traffic study if such connection to U.S. 17 cannot be achieved due to the location of the railroad tracks west of U.S. 17.

B. The Applicant shall construct the Connector Road through the City regional park site, at the Applicant’s expense. The Applicant will also stub out water and sewer lines it installs within the Property to the southern boundary of the City regional park site, if so requested by the City.

C. The Applicant and the City agree that based on the Applicant’s traffic study submitted with the companion Comprehensive Plan Amendment application for the Property, no proportionate fair share, mobility or other similar mitigation payment shall be due related to the Development’s projected impacts to the regional roadway network. An interim traffic study addressing traffic distribution shall be required by the Applicant every five (5) years. The interim traffic study shall examine the Development’s traffic distribution and its impact on segment and intersection analysis to determine if additional traffic mitigation requirements are required.

5. Land Contributions.

A. Police Substation. The Applicant shall dedicate to the City a parcel of approximately one-half (1/2) acre on which to locate a police substation (the “**Substation Site**”). The Substation Site will be located within one of the Development recreation areas, as depicted on the Conceptual Plan.

B. School Site. The Applicant ~~shall~~will offer to dedicate to the Clay County School Board a parcel of approximately 20 acres on which to construct a public elementary school (the “**Public School Site**”). The location of the proposed Public School Site is depicted on the Conceptual Plan. The Applicant, its successors and assigns, will ~~receive school impact fee credits for the appraised value of the Public School Site~~comply with applicable provisions of Section 163.3180(6), Florida Statutes, in providing any required school proportionate share mitigation, which may include dedication of the Public School Site, and will pay any applicable school impact fees for the Development in the timing and manner required by law.

C. Land Swap. The Applicant will exchange an approximately five (5)-acre parcel within the Property, in the location labeled “Land Swap” on the Conceptual Plan, with the City for the right-of-way for the Connector Road within the City’s regional park site, which is approximately five (5) acres. The exchanged parcels have equal value so no compensation will be due from either the Applicant or the City related to the exchange parcels. The Applicant will

prepare all deeds, legal descriptions and sketches of description for the parcel exchange, at its expense.

6. **Park Contribution.** The Applicant shall pay a per-unit park fee to the City for construction of improvements within the Gustafson Regional Park, which is adjacent to the Development. The per-unit fee shall be \$135, which shall be paid by the Applicant to the City upon the filing of a building permit application. In the event that Gustafson Regional Park improvements are not constructed by the City, the City can use the funds paid by the Applicant pursuant to this Section 6 for improvements to other City parks.

7. **Development Timing.** The Property is intended to be developed with the phasing set forth in the PUD, which provides the Development will be constructed in one (1), 20-year phase. Construction will be commenced by December 31, 2024 and shall be completed by December 31, 2044. For purposes of the PUD, “commencement” means securing approved construction drawings for the first portion of the Development and “completion” is defined as the installation of horizontal infrastructure and City approval of as-builts. The City shall review the Development at least once every twelve (12) months to determine if there has been demonstrated good faith compliance with this Agreement, pursuant to Section 163.3235, Florida Statutes.

8. **Authority and Duration.** This Agreement is made and granted pursuant to Sections 163.3220-163.3243, Florida Statutes, and is effective through the thirtieth (30th) anniversary of the Effective Date of this Agreement, and any extension of this Agreement.

9. **Amendment, Extension of Agreement.** If state or federal laws are enacted after the execution of this Agreement that are applicable to and preclude the Parties’ compliance with the terms of this Agreement, this Agreement shall be modified or revoked as necessary to comply with the relevant State or federal laws, pursuant to Section 163.3241, Florida Statutes, as may be amended from time to time. The duration of this Agreement may be extended by the City pursuant to law and after conducting a public hearing in the manner specified in Section 163.3225, Florida Statutes, as may be amended from time to time.

10. **Necessity to Obtain Permits.** The Applicant acknowledges its obligation to obtain all necessary federal, state and other local development permits (not mentioned herein) for development of the Property. The failure of this Agreement to address any particular permit, condition, term or restriction applicable to development of the Property shall not relieve the Applicant or any successors or assigns of the necessity of complying with federal, state, and other local permitting requirements, conditions, terms or restrictions as may be applicable.

11. **Agreement Consistent with Comprehensive Plan and Section 163.3180, Florida Statutes (2020).** The City hereby acknowledges and agrees that (i) the Development is consistent with Florida Statutes and with the City’s Comprehensive Plan and Land Development Regulations, and (ii) that the City’s Comprehensive Plan is in compliance with the State of Florida Comprehensive Plan.

12. **Remedies.** Each party to this Agreement shall be entitled to seek enforcement of this Agreement against the other party consistent with Section 163.3243, Florida Statutes, as may be amended from time to time.

13. **Binding Effect.** The burdens of this Agreement shall be binding upon, and the benefits of this Agreement shall inure to, all successors in interest to the Parties to this Agreement. When Applicant is used in this Agreement, it includes Applicant and any successors and assigns owning any rights to the Property, jointly and severally assuming all the obligations set out in the Agreement, unless the obligations have been fully discharged.

14. **Applicable Law: Jurisdiction and Venue.** This Agreement and the rights and obligations of the City and Applicant under this Agreement shall be governed by, construed under, and enforced in accordance with the laws of the State of Florida (2020). This Agreement may be enforced as provided in Section 163.3243, Florida Statutes, as may be amended from time to time. Venue for any litigation pertaining to the subject matter of this Agreement shall be exclusively in Clay County, Florida. If any provision of this Agreement, or the application of this Agreement to any person or circumstances, shall to any extent be held invalid or unenforceable by a court of competent jurisdiction, then the remainder of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

The fact that this Agreement does not detail all laws, rules, regulations, permits, conditions, terms and restrictions that must be satisfied to complete the Development contemplated by this Agreement shall not relieve Applicant or its successors in interest of the obligation to comply with the law governing such permit requirements, conditions, terms and restrictions.

15. **Joint Preparation.** Preparation of this Agreement has been a joint effort of the parties and the resulting document shall not, solely as a matter of judicial construction, be construed more severely against one of the parties than the other.

16. **Exhibits.** All exhibits attached to this Agreement contain additional terms of this Agreement and are incorporated into this Agreement by reference.

17. **Captions or Paragraph Headings.** Captions and paragraph headings contained in this Development Agreement are for convenience and reference only, and in no way define, describe, extend or limit the scope of intent of this Agreement, nor the intent of any provision of this Agreement.

18. **Counterparts.** This Agreement may be executed in counterparts, each constituting a duplicate original; such counterparts shall constitute one and the same Agreement.

19. **Effective Date and Recordation.** This Agreement shall become effective fifteen (15) days after it has been recorded in the Public Records of Clay County (the “Effective Date”).

20. **Amendment.** This Agreement may be amended, cancelled or revoked consistent with the notice and hearing procedures of Section 163.3225, Florida Statutes, and the terms of Section 163.3237, Florida Statutes, as may be amended from time to time.

21. **Further Assurances.** Each party to this Agreement agrees to do, execute, acknowledges and deliver, or cause to be done, executed, acknowledged and delivered, all such further acts, and assurances in a manner and to the degree allowed by law, as shall be reasonably requested by the other party in order to carry out the intent of and give effect to this Agreement.

Without in any manner limiting the specific rights and obligations set forth in this Agreement or illegally limiting or infringing upon the governmental authority of the City, the Parties declare their intention to cooperate with each other in effecting the purposes of this Agreement, and to coordinate the performance of their respective obligations under the terms of this Agreement.

22. **Notices.** Any notices or reports required by this Development Agreement shall be sent to the following:

To the City: City Manager
City of Green Cove Springs
321 Walnut Street
Green Cove Springs, Florida 32043

With copies to: Jim Arnold, Attorney
City of Green Cove Springs
321 Walnut Street
Green Cove Springs, Florida 32043
cityattorney@greencovesprings.com

To the Applicant: D.R. Horton, Inc. – Jacksonville
Attn: John R. Gislason
4220 Race Track Road
St. Johns, Florida 32259

With copies to: Ellen Avery-Smith, Esq.
Rogers Towers, P.A.
100 Whetstone Place, Suite 200
St. Augustine, Florida 32086

Passed and Duly Adopted by the City Commission of the City of St. Augustine, Florida
this ____ day of _____, 2021.

Attest: CITY OF GREEN COVE SPRINGS,
FLORIDA, a municipal corporation

By: _____
Steve Kennedy, City Manager

Approved as to form, legal sufficiency and
execution:

By: _____
L.J. Arnold, III, City Attorney

Signed, sealed and delivered in the presence of:

D.R. HORTON INC. -JACKSONVILLE,
a Delaware corporation

Witness
Print Name: _____

By: _____
Its: _____
Date: _____

Witness
Print Name: _____

STATE OF FLORIDA

COUNTY OF _____

The foregoing instrument was acknowledged before me by means of ___ physical presence or ___ online notarization on this day ___ of _____, 2021, by _____, as _____ of D.R. Horton, Inc. - Jacksonville., a Delaware corporation, on behalf of the corporation, who is (check one) personally known to me or has produced a valid driver's license as identification.

Notary Public
Name: _____
Commission Expires: _____

EXHIBIT "A"**The Property**

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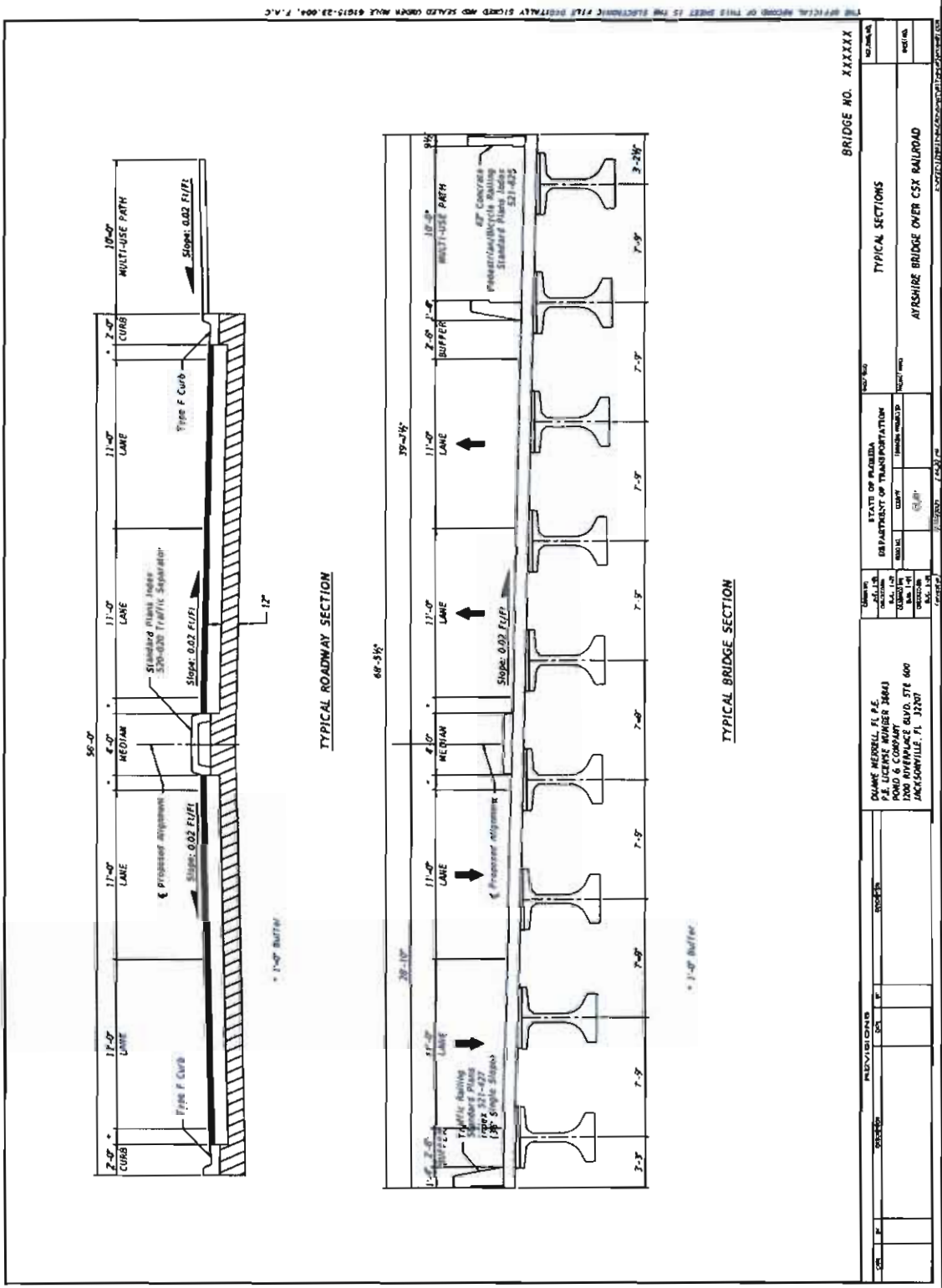
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Containing 560.52 acres, more or less.

EXHIBIT "B"
Conceptual Plan

EXHIBIT "C"

Connector Road Typical Section



BRIDGE NO. XXXXX		TYPICAL SECTIONS	
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		AYRSHIRE BRIDGE OVER CSX RAILROAD	
DESIGNER	DATE	PROJECT NO.	SCALE
DUANE HEDRELL, P.E. P.E. LICENSE NUMBER 36443 POND & COMPANY, INC., ETE 600 JACKSONVILLE, FL 32207			
PROJECT NO.	DATE	PROJECT NO.	SCALE



Item # 5.

FOR OFFICE USE ONLY

P Z File # _____

Application Fee: _____

Filing Date: _____ Acceptance Date: _____

Review Date: SRDT _____ P & Z _____ CC _____

Comprehensive Plan Amendment Application

A. PROJECT

1. Project Name: Ayrshire
2. Address of Subject Property: County Road 15A
3. Parcel ID Number(s): 38-06-26-016515-000-0 (portion)
4. Existing Use of Property: Agriculture
5. Future Land Use Map Designation: Rural Fringe/Industrial (Clay County)
6. Existing Zoning Designation: Agriculture/Industrial (Clay County)
7. Proposed Future Land Use Map Designation: Residential Medium Density (RMD)
8. Acreage: 561

B. APPLICANT

1. Applicant's Status Owner (title holder) Agent
2. Name of Applicant(s) or Contact Person(s): Bob Porter, John Gislason Title: _____
 Company (if applicable): D.R. Horton, Inc. - Jacksonville
 Mailing address: 4220 Race Track Road
 City: St. Johns State: Florida ZIP: 32259
 Telephone: 904-421-4612 FAX: () _____ e-mail: jrgislason@drhorton.com
3. If the applicant is agent for the property owner*
 Name of Owner (title holder): Gustafson's Cattle, Inc.
 Mailing address: PO Box 600337
 City: Jacksonville State: Florida ZIP: 32260
 Telephone: () _____ FAX: () _____ e-mail: _____

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contract for sale of, or options to purchase, the subject property?
 Yes No If yes, list names of all parties involved:
 If yes, is the contract/option contingent or absolute?
 Contingent Absolute

D. ATTACHMENTS (One copy reduced to no greater than 11 x 17, plus one copy in PDF format.)

1. Statement of proposed change, including a map showing the proposed Future Land Use Map change and Future Land Use Map designations on surrounding properties
2. Concurrency Impact Analysis which considers the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools.
3. Needs Analysis which demonstrates the necessity of the proposed change. This analysis may consist, in whole or part, of a market impact study or real estate needs analysis.
4. Analysis of Consistency with the City of Green Cove Springs Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy.)
5. A current aerial map (Maybe obtained from the Clay County Property Appraiser.)
6. Legal description with tax parcel number.
7. Boundary survey
8. Vicinity Map
9. Warranty Deed or the other proof of ownership
10. Fee.
 - a. Future Land Use Map Amendments - \$1,500 plus \$20 per acre
 - b. Text Amendment to Comprehensive Plan - \$1,500 per element
 - c. All applications are subject 10% administrative fee and must pay the cost of postage, signs, advertisements, and the fee for any outside consultants.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 10 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

Ellen Avery-Smith
Signature of Applicant

Signature of Co-applicant

Ellen Avery-Smith
Typed or printed name and title of applicant

Typed or printed name of co-applicant

3/23/2021
Date

Date

State of Florida County of St. Johns

The foregoing application is acknowledged before me this 23rd day of March, 2021 by Ellen

Avery-Smith, who is/are personally known to me, or who has/have produced _____ as identification.

NOTARY SEAL



Vicky L Williams
Signature of Notary Public, State of Florida

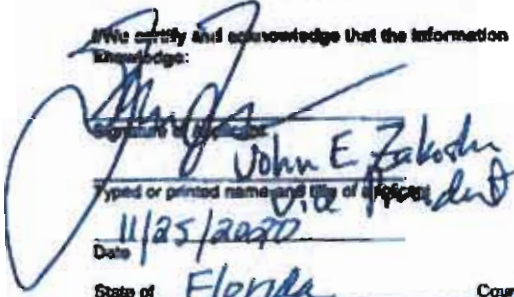
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I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:


 Signature of Applicant
 John E. Zakoske
 Vice President
 Date 11/25/2010
 State of Florida

Signature of Co-applicant
 Elton Avery-Smith, Esq. of Rogers Towers, P.A.
 Typed or printed name of co-applicant
 Date

County of St. Johns

The foregoing application is acknowledged before me this 25th day of November 2010 by John E. Zakoske

who is/are personally known to me, or who has/have produced N/A as identification.

NOTARY SEAL 
 Signature of Notary Public, State of FL



ABBI MARIE FORNEL
 Commission # 00943302
 Expires April 28, 2014
 Notarial Seal Subject to Release

Signature of Notary Public, State of FL

City of Green Cove Springs Development Services Department • 321 Walnut Street • Green Cove Springs, FL 32043 • (904) 287-7800

City of Green Cove Springs, Florida

Comprehensive Plan Amendment Application 2020

Supplemental Information

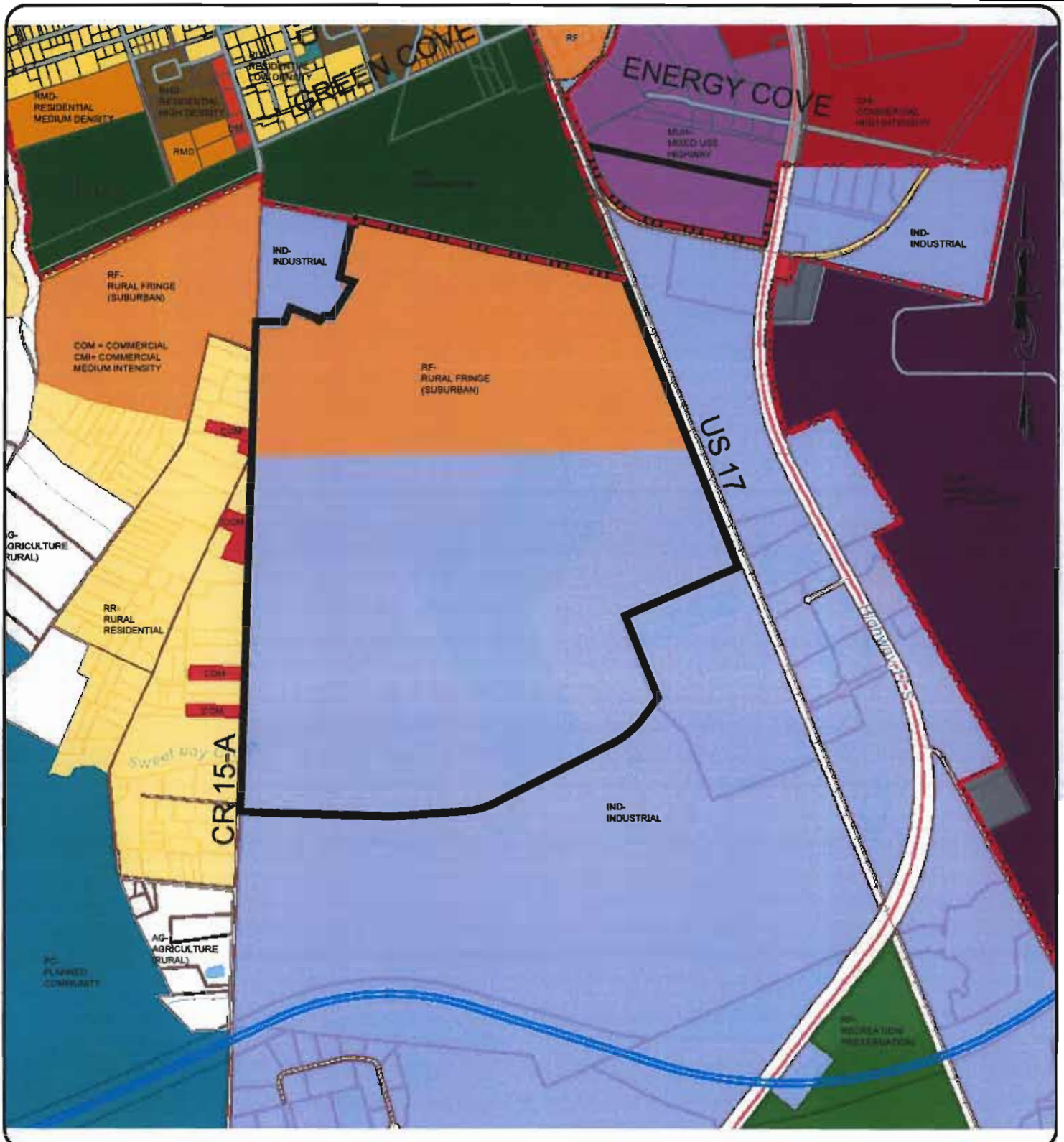
Co-Applicant:

Ellen Avery-Smith, Esq. of Rogers Towers, P.A.
100 Whetstone Place, Suite 200
St. Augustine, Florida 32086
Phone: 904.825.1615
Email: EAverySmith@rtlaw.com



PROPERTY OWNER AFFIDAVIT

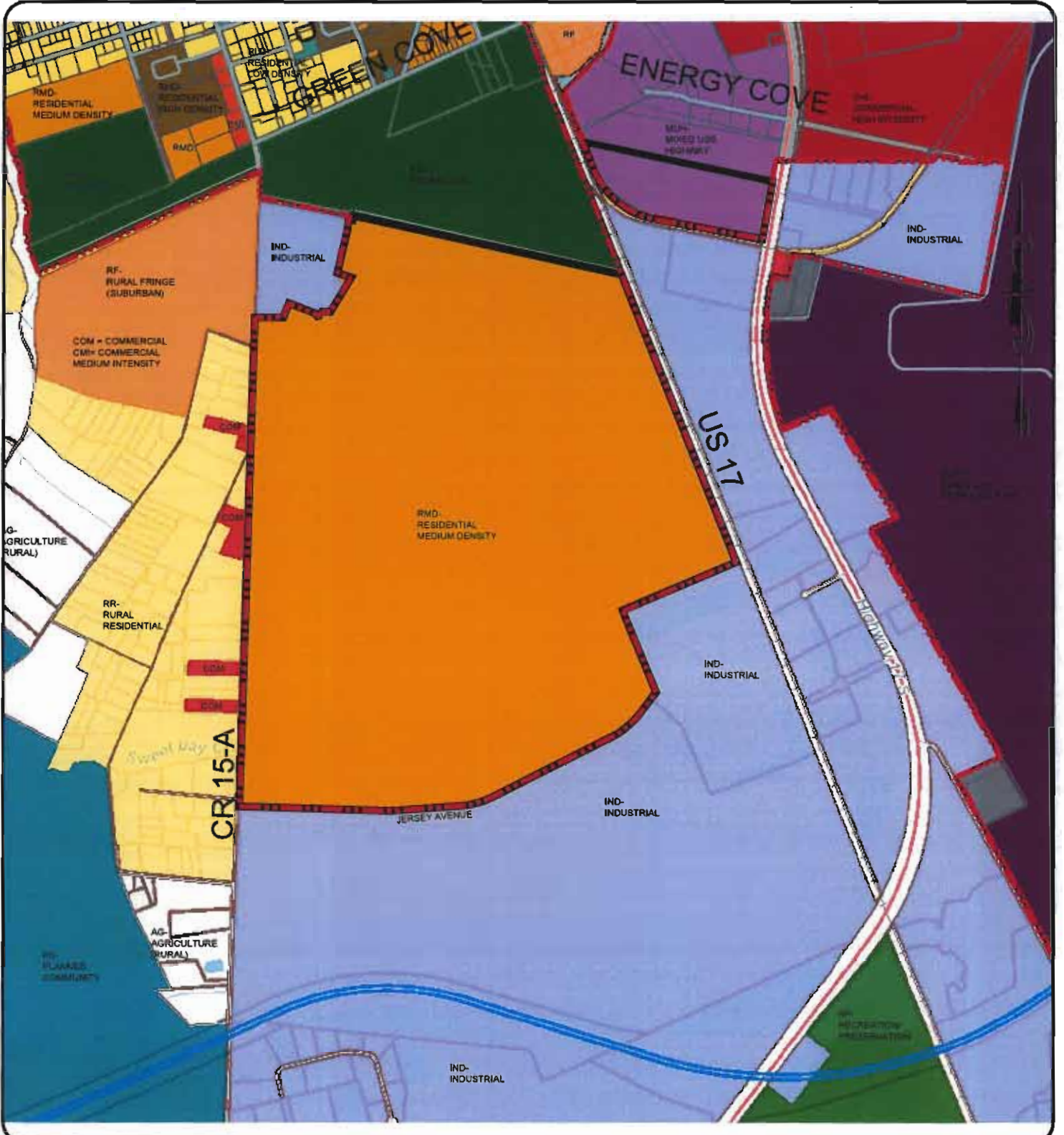
Owner Name: Gustafson's Cattle, Inc.	
Address: PO Box 600337, Jacksonville, FL 32260	Phone:
Agent Name: Ellen Avery-Smith, Esq. of Rogers Towers, P.A. & D.R. Horton, Inc. - Jacksonville	
Address: c/o 100 Whetstone Place, Suite 200, St. Augustine, FL 32086	Phone: 904-825-1615
Parcel No.: 38-06-26-016515-000-0	
Requested Action: Application for Comprehensive Plan Amendment	
<p>I hereby certify that:</p> <p>I am the property owner of record. I authorize the above listed agent to act on my behalf for the purposes of this application.</p> <p>Property owner signature: <u><i>Edwin S. Gustafson III</i></u></p> <p>Printed name: <u>Edwin S. Gustafson III</u></p> <p>Date: <u>10/8/2020</u></p> <p>The foregoing affidavit is acknowledged before me this <u>8th</u> day of <u>OCT</u>, 2020, by <u>EDWIN S. GUSTAFSON III</u>, who is/are personally known to me, or who has/have produced <u>A FLORIDA DRIVER'S LIC. G231-217-68-338-D</u> as identification.</p>	
<p>NOTARY PUBLIC NOTARY SEAL</p>	<p>Larry A. Hunt State of Florida Commission Expires 11/22/2021 Commission No. GG 155171</p> <p><u><i>Larry A. Hunt</i></u> Signature of Notary Public, State of <u>FL</u></p>



Dunn & Associates, Inc.
 CIVIL ENGINEERS / LAND PLANNERS
 8647 Boylne Road, Suite 200
 Jacksonville, Florida 32256
 Phone: (904)363-8916 Fax: (904)363-8917

Project Name : Ayrshire PUD		Site Location : EAST SIDE OF CR15-A
Project No : 2008-499		
Drawn By : MR		
Checked By : VJD		
Date : January 7, 2021		Scale : 1" = 1400'

**EXISTING FUTURE LAND
 USE MAP**



Dunn & Associates, Inc.
 CIVIL ENGINEERS / LAND PLANNERS
 8647 Boysho Road, Suite 200
 Jacksonville, Florida 32256
 Phone: (904)383-8810 Fax: (904)383-8817

PROPOSED FUTURE LAND USE MAP

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Project No : 2008-499	Site Location : EAST SIDE OF CR15-A
Drawn By : MR	
Checked By : VJD	
Date : January 7, 2021	Scale : 1" = 1400'

January 08, 2021

Work Order No. 21-008.00
File No. 127E-39.00A**Ayrshire North Re-Zoning**

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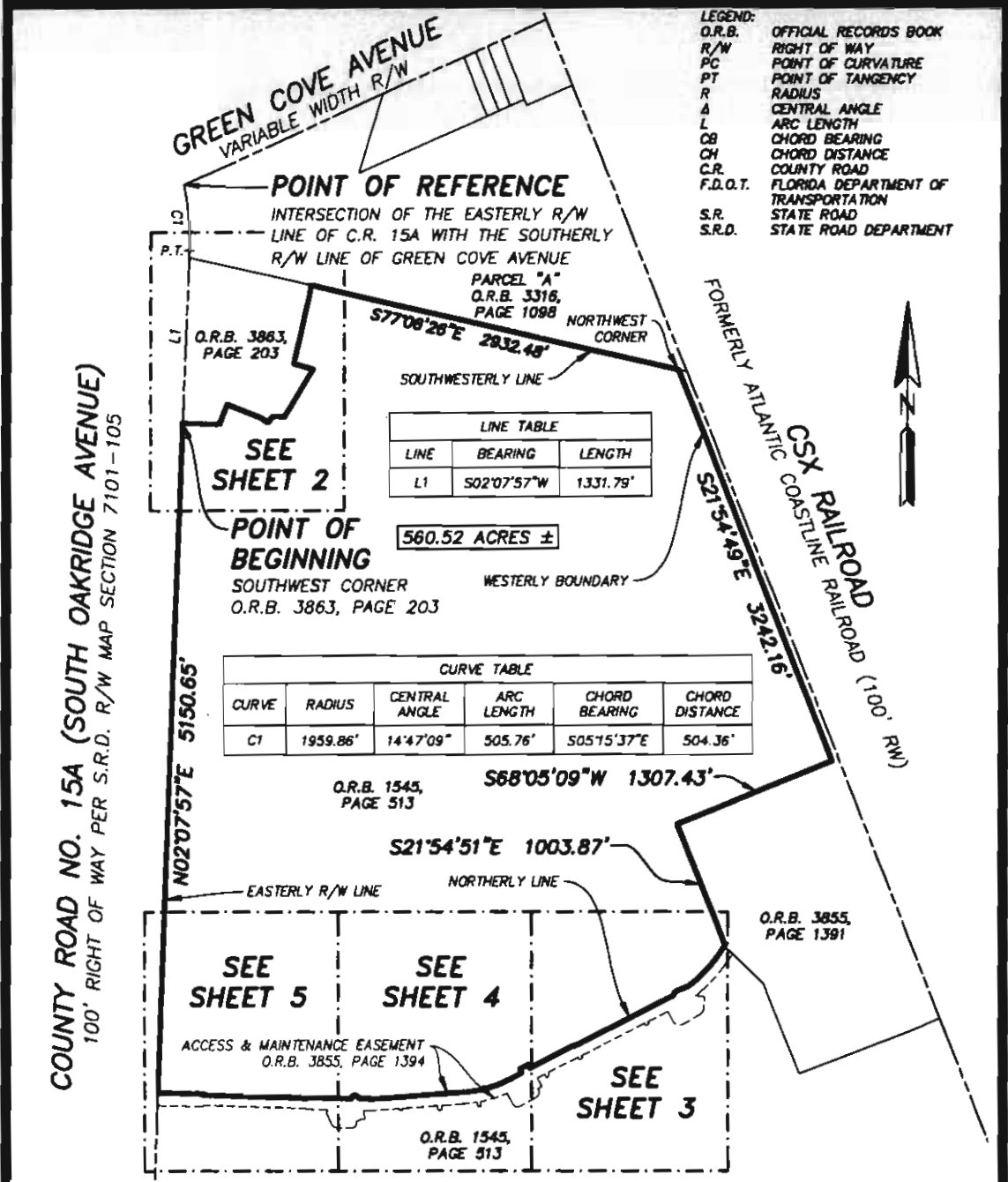
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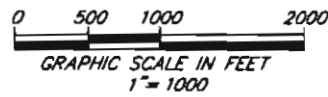
SKETCH TO ACCOMPANY DESCRIPTION OF

A PORTION OF SECTION 38 OF THE GEORGE I.F. CLARKE GRANT, TOWNSHIP 6 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA, BEING A PORTION OF THOSE LANDS AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1545, PAGE 513 OF THE PUBLIC RECORDS OF SAID COUNTY, BEING MORE PARTICULARLY DESCRIBED IN SEPARATE ATTACHMENT.



SHEET 1 OF 5

- GENERAL NOTES:**
 1) THIS IS NOT A SURVEY.
 2) BEARINGS BASED ON THE EASTERLY RIGHT OF WAY LINE OF C.R. 15A, BEING SOUTH 02°07'57" WEST.



14775 Old St. Augustine Road, Jacksonville, FL 32258
 Tel: (904) 642-8550 Fax: (904) 642-4165
 Certificate of Authorization No.: LB 3624

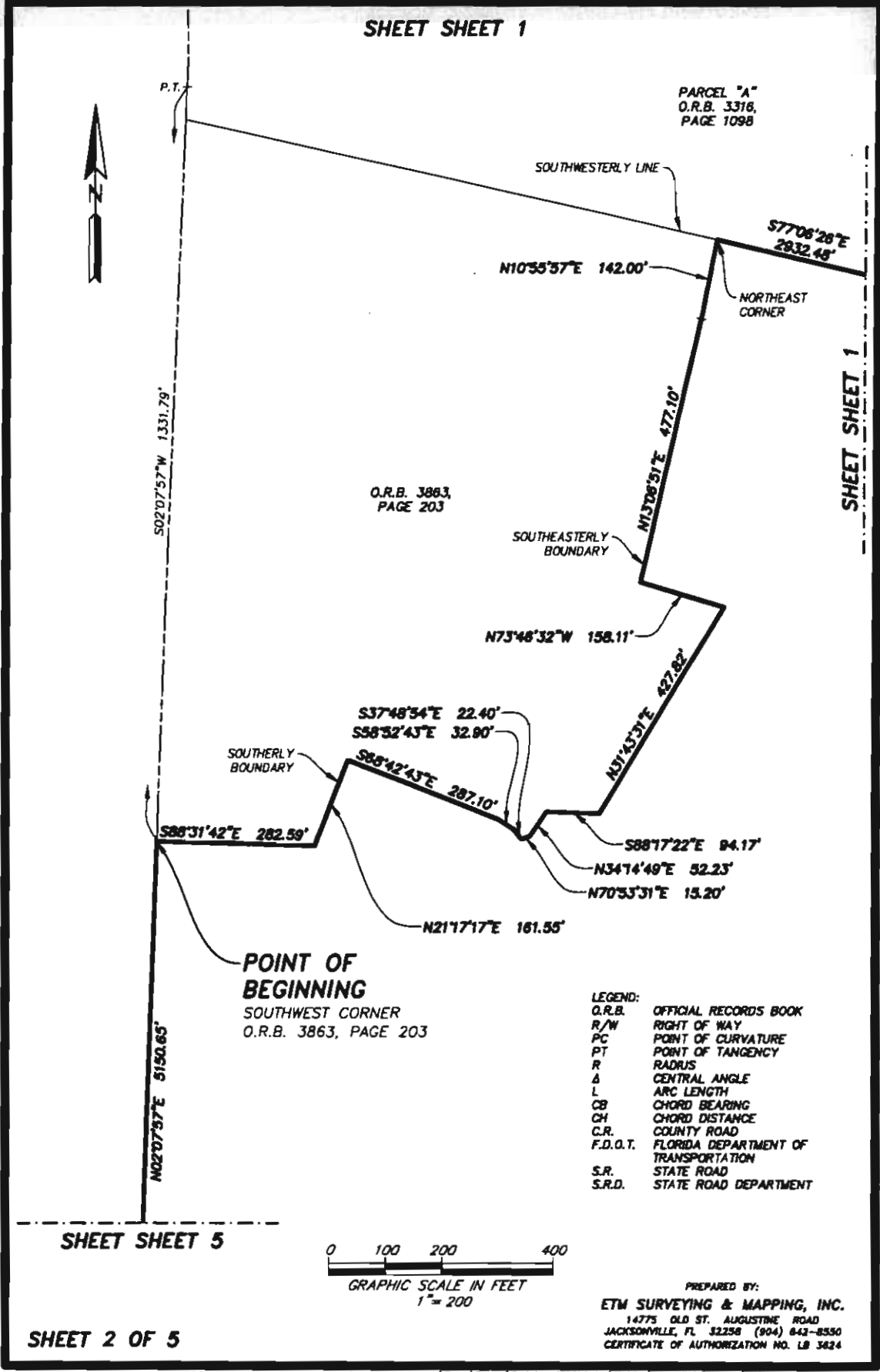
SCALE: 1"=1000'
 DATE: JANUARY 8, 2021

Bob L. Pittman
BOB L. PITTMAN
 PROFESSIONAL SURVEYOR AND MAPPER
 STATE OF FLORIDA PSM No. 4827

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SKETCH TO ACCOMPANY DESCRIPTION OF

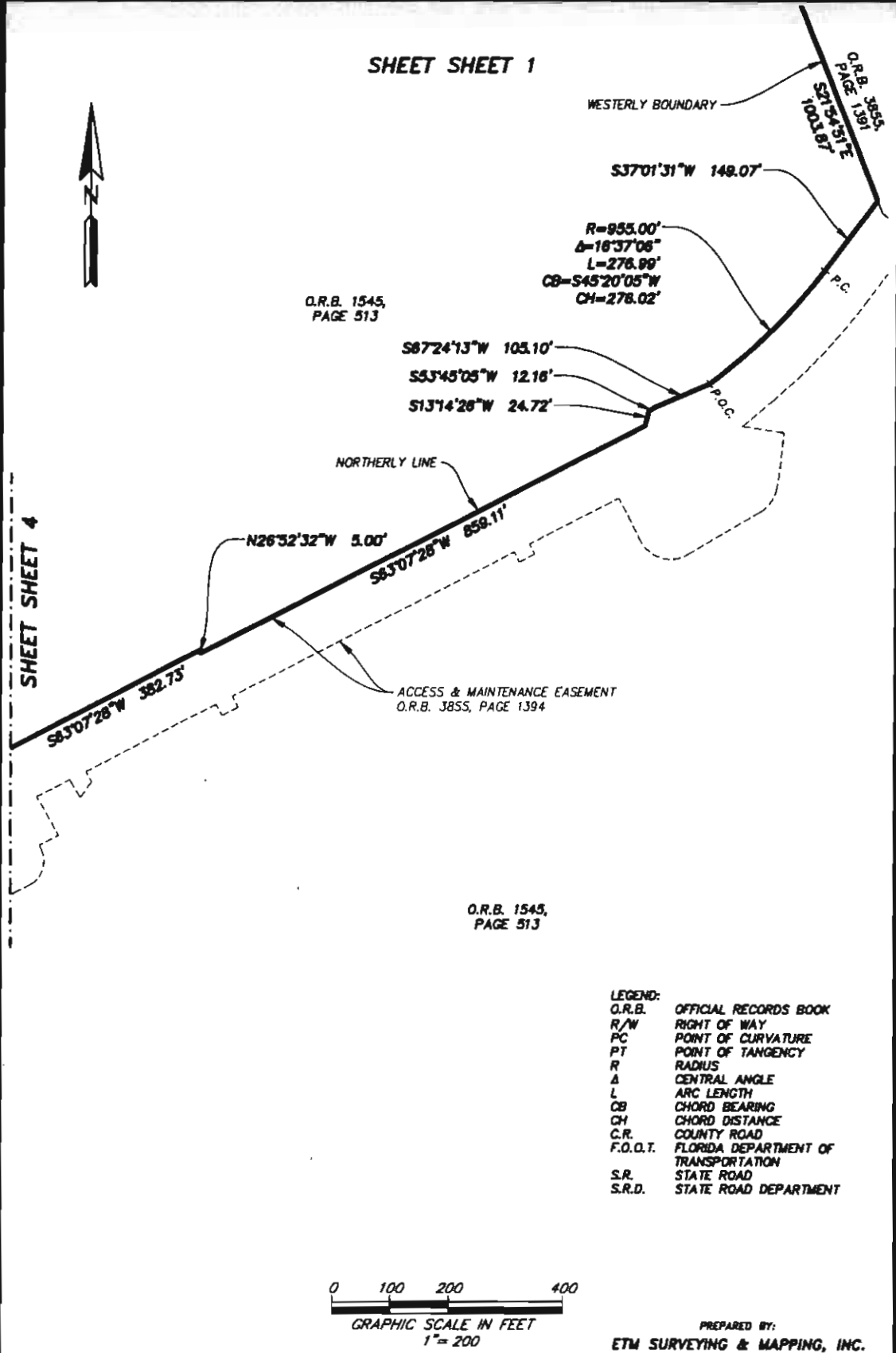
A PORTION OF SECTION 38 OF THE GEORGE I.F. CLARKE GRANT, TOWNSHIP 6 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA, BEING A PORTION OF THOSE LANDS AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1545, PAGE 513 OF THE PUBLIC RECORDS OF SAID COUNTY.



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SHEET SHEET 1



SHEET 3 OF 5

- LEGEND:
- O.R.B. OFFICIAL RECORDS BOOK
 - R/W RIGHT OF WAY
 - PC POINT OF CURVATURE
 - PT POINT OF TANGENCY
 - R RADIUS
 - Δ CENTRAL ANGLE
 - L ARC LENGTH
 - CB CHORD BEARING
 - CH CHORD DISTANCE
 - C.R. COUNTY ROAD
 - F.O.D.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 - S.R. STATE ROAD
 - S.R.D. STATE ROAD DEPARTMENT

SKETCH TO ACCOMPANY DESCRIPTION OF

A PORTION OF SECTION 38 OF THE GEORGE I.F. CLARKE GRANT, TOWNSHIP 6 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA, BEING A PORTION OF THOSE LANDS AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1545, PAGE 513 OF THE PUBLIC RECORDS OF SAID COUNTY.

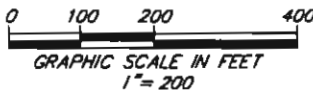
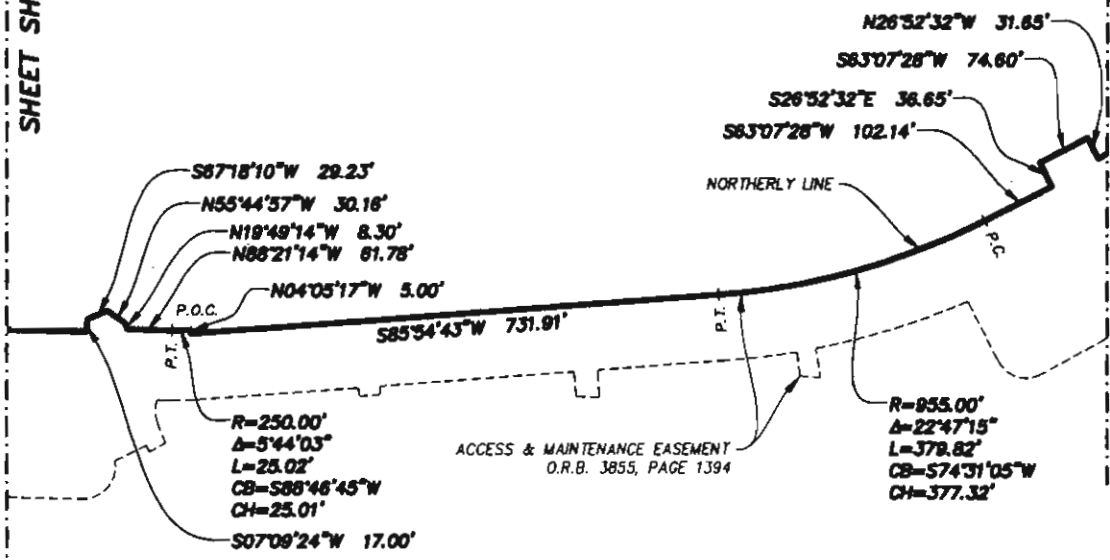


- LEGEND:**
 O.R.B. OFFICIAL RECORDS BOOK
 R/W RIGHT OF WAY
 PC POINT OF CURVATURE
 PT POINT OF TANGENCY
 R RADIUS
 Δ CENTRAL ANGLE
 L ARC LENGTH
 CB CHORD BEARING
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 C.R. COUNTY ROAD
 F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 S.R. STATE ROAD
 S.R.D. STATE ROAD DEPARTMENT

SHEET SHEET 5

SHEET SHEET 3

O.R.B. 1545,
PAGE 513



SHEET 4 OF 5

PREPARED BY:
ETM SURVEYING & MAPPING, INC.
 14775 OLD ST. AUGUSTINE ROAD
 JACKSONVILLE, FL 32258 (904) 642-8530
 CERTIFICATE OF AUTHORIZATION NO. LB 3824

SKETCH TO ACCOMPANY DESCRIPTION OF

A PORTION OF SECTION 38 OF THE GEORGE I.F. CLARKE GRANT, TOWNSHIP 6 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA, BEING A PORTION OF THOSE LANDS AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1545, PAGE 513 OF THE PUBLIC RECORDS OF SAID COUNTY.

SHEET SHEET 1

COUNTY ROAD NO. 15A (SOUTH OAKRIDGE AVENUE)
100' RIGHT OF WAY PER S.R.D. R/W MAP SECTION 7101-105

N02°07'57"E 5150.65'

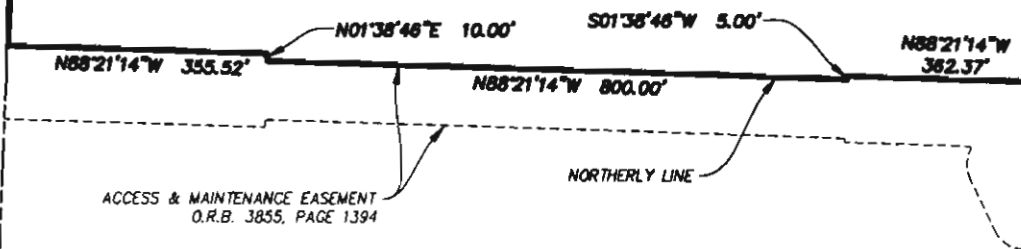


- LEGEND:
- O.R.B. OFFICIAL RECORDS BOOK
 - R/W RIGHT OF WAY
 - PC POINT OF CURVATURE
 - PT POINT OF TANGENCY
 - R RADIUS
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 - S.R. STATE ROAD
 - S.R.D. STATE ROAD DEPARTMENT

O.R.B. 1545,
PAGE 513

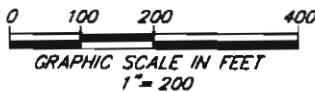
EASTERLY R/W LINE

SHEET SHEET 4



ACCESS & MAINTENANCE EASEMENT
O.R.B. 3855, PAGE 1394

NORTHERLY LINE



SHEET 5 OF 5

PREPARED BY:
ETM SURVEYING & MAPPING, INC.
 14775 OLD ST. AUGUSTINE ROAD
 JACKSONVILLE, FL 32256 (904) 642-8550
 CERTIFICATE OF AUTHORIZATION NO. LB 3624



Clay County Property Appraiser's Office

Parcel Summary

Parcel ID 38-06-26-016515-000-00
Location COUNTY ROAD 15A
Address Green Cove Springs 32043
Brief Tax Description* N1/2 LOT 4; PT LOTS 5 & 6 BLK 22 AS REC DB 00 PG 734; 55 PG 44; L PG 444; KK PG 414 PT OF LOTS 1-4 BLK 37 DB 15 PG 82; 156 PG 256 & 498; LL PG 606; 7 PG 247 & 1545 PG 513 EX 1/2 ACRES; M PG 125; PT BAYARD TRACT DB 15 PG 456; ALL PT OF SMITH SURVEY BAYARD TRACT; LOT 1-5 BLK 24; ALL BLKS 25;26;32 & 33 EX SEC 13 BLK 33 & PT OF ROWELL; LOTS 1 & 2 BLK 24 EX PT TO RD; LOTS 1 & 2 BLK 35 O R 66 PG 121 EX PT TO MILLER; SECS 1 & 2 LOT 2 BLK 50; PT LOT 2 BLK 51 DB 49 PG 55 BAYARD TRACT S/D;1545 PG 510; 3316 PG 1098; 3855 PG 1391; 3939 PG 192; 5R23 4081 PG 1202 & 1208; 4081 PG 1162
 (Note: *The Description above is not to be used on legal documents.)
Property Use Code TIMB 70/79 (5600)
Sec/Twp/Rng 38/6/26
Tax District Tax Dist 001
Millage Rate 15.2187
Acreage 946.441
Homestead N

Map



Owner Information

GUSTAFSON'S CATTLE INC
 PO BOX 600337
 JACKSONVILLE FL 32260-0337

Land Information

Land Use	Number of Units	Unit Type	Land Type	Frontage	Depth
TIMB 70/79 (5600)	180.00	Timber 70/79	Ag Use	0	0
N-PRODUCT (5930)	103.74	Non-Productive	Ag Use	0	0
Vacant > 10 AC/Non-Ag (9900)	662.70	South Green Cove Springs Rural Residential	Site	0	0

Sales

Sale Date	Sale Price	Instrument	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
1/17/1995	\$1,223,200	Warranty Deed	1545	513	Qualified	Improved	GUSTAFSONS DAIRY INC	GUSTAFSONS DAIRY FARM INC

Recent Sales in Area

Sale date range:

From:

09/09/2010

To:

09/09/2020

Sales by Neighborhood

1500

Feet

Sales by Distance

TRIM Notice

[38-06-26-016515-000-00\(PDF\)](#)

Valuation

	2020 TRIM Values	2019 Certified	2018 Certified	2017 Certified
+ Building Value	\$0	\$0	\$0	\$64,674
+ Extra Features Value	\$0	\$0	\$0	\$232,096
+ Land Value	\$2,622,641	\$1,988,103	\$1,988,103	\$2,327,664
Land Agricultural Value	\$52,887	\$52,887	\$52,887	\$262,767
Agricultural (Market) Value	\$634,538	\$560,748	\$560,748	\$2,327,664
- Just Market Value	\$2,622,641	\$2,548,851	\$2,548,851	\$2,624,434
= Total Assessed Value	\$2,040,990	\$2,040,990	\$2,040,990	\$559,537
- Exempt Value	\$0	\$0	\$0	\$0
= Total Taxable Value	\$2,040,990	\$2,040,990	\$2,040,990	\$559,537
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Property Record Card

[2020 Property Record Card\(PDF\)](#)

No data available for the following modules: Buildings, Yard Items, Photos, Sketches.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 9/9/2020, 7:46:17 AM

Version 2.3.84



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856240



Book: 1545
Page: 0513
Rec: 03/30/95
12:34 P.M.
File# 9509079
John Keene
Clerk Of Courts
Clay County, FL
FEE \$19.50
DOC \$8562.40

WARRANTY DEED

THIS INDENTURE, made this 17th day of January, 1995, GUSTAFSON'S DAIRY, INC., a Florida corporation, whose address is 4169 County Road 15A, Green Cove Springs, Florida 32043, party of the first part, and GUSTAFSON'S DAIRY FARM, INC., a Florida corporation, whose address is 4169 County Road 15A, Green Cove Springs, Florida 32043, party of the second part.

W I T N E S S E T H:

That the said party of the first part, in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other good and valuable consideration, to it in hand paid by said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained, and conveyed to said party of the second part, its successors and assigns forever, the following described land, situate, lying and being in Clay County, Florida, to wit:

SEE EXHIBIT "A" ATTACHED HERETO.

Subject to covenants, restrictions, easements, mortgages and all other encumbrances of record and taxes assessed subsequent to December 31, 1993; provided, however, this reference will not serve to reimpose any such covenants, restrictions or easements.

Real Estate Assessment No. 38-06-26-016515-000-00

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the undersigned has hereunto set his hand and seal on behalf of said party of the first part the day and year first above written.

Signed and Sealed in Our Presence:

GUSTAFSON'S DAIRY, INC., a Florida corporation

Sign: John L. Fisher
Print Name: JOHN FISHER

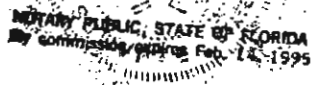
By: E. S. Gustafson
E. S. Gustafson
President

Sign: James H. Sheehan
Print Name: James H. Sheehan

STATE OF FLORIDA
COUNTY OF CLAY

The foregoing instrument was acknowledged before me this 17th day of January, 1995, by E.S. Gustafson, President of Gustafson's Dairy, Inc., a Florida corporation, on behalf of the corporation, who are personally known to me or who has produced a driver's license as identification.

James H. Sheehan
Name: James H. Sheehan
NOTARY PUBLIC, State of Florida
Commission Number: CC285377



THIS DOCUMENT WAS PREPARED WITHOUT BENEFIT OF TITLE SEARCH OR SURVEY.

Prepared By/Return To:
James H. Sheehan, Esq.
3366 Mary Draper Court, East
Jacksonville, Florida 32223

PK

A tract of land consisting of 1125 acres more or less in Clay County, State of Florida in section thirty eight (38), township six (6) south, Range twenty six (26) east. Bordered on the north by Green Cove Avenue on the east by the Seaboard Coast Line Railroad, on the south by lands of J.P. Hall, and on the west by County road 15A. More particularly described as follows:

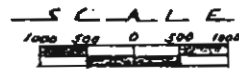
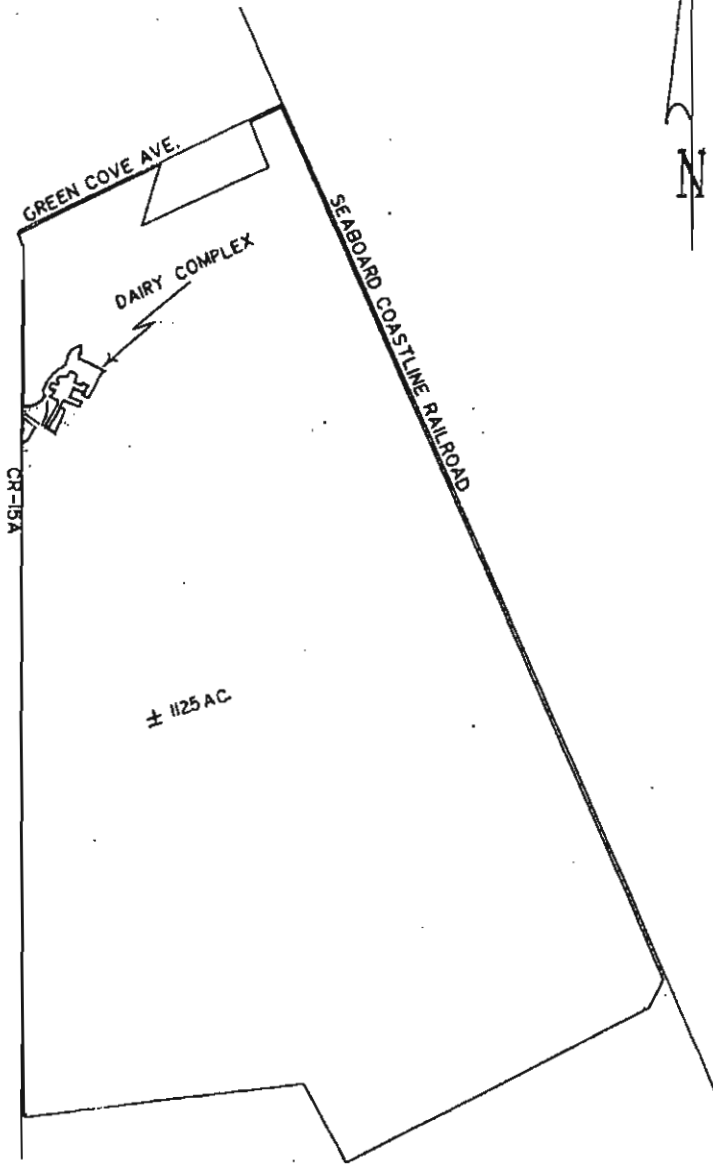
Beginning at the south right of way intersection of CR 15A and Green Cove Ave and thence east along said right of way of Green Cove Ave a distance of \pm 1700 feet turn south west at this point a distance of 640.31 feet at this point turn east a distance of 1416.60 feet, at this point north for a distance of 495.54 feet, east for a distance of 383.55 feet to the right of way of Seaboard Coastline Railroad south along said right of way for a distance of 9,900 feet at this point turn southwest for a distance of 400 feet turn west at this point for a distance of 3550 feet, turn northwest at this point a distance of 900 feet at this point turn west for a distance of 2995 feet to CR 15A right of way turn north along said right of way a distance of 9100 feet to a point of beginning. See Attached Map #1

LESS AND EXCEPT:

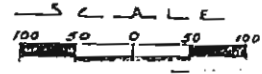
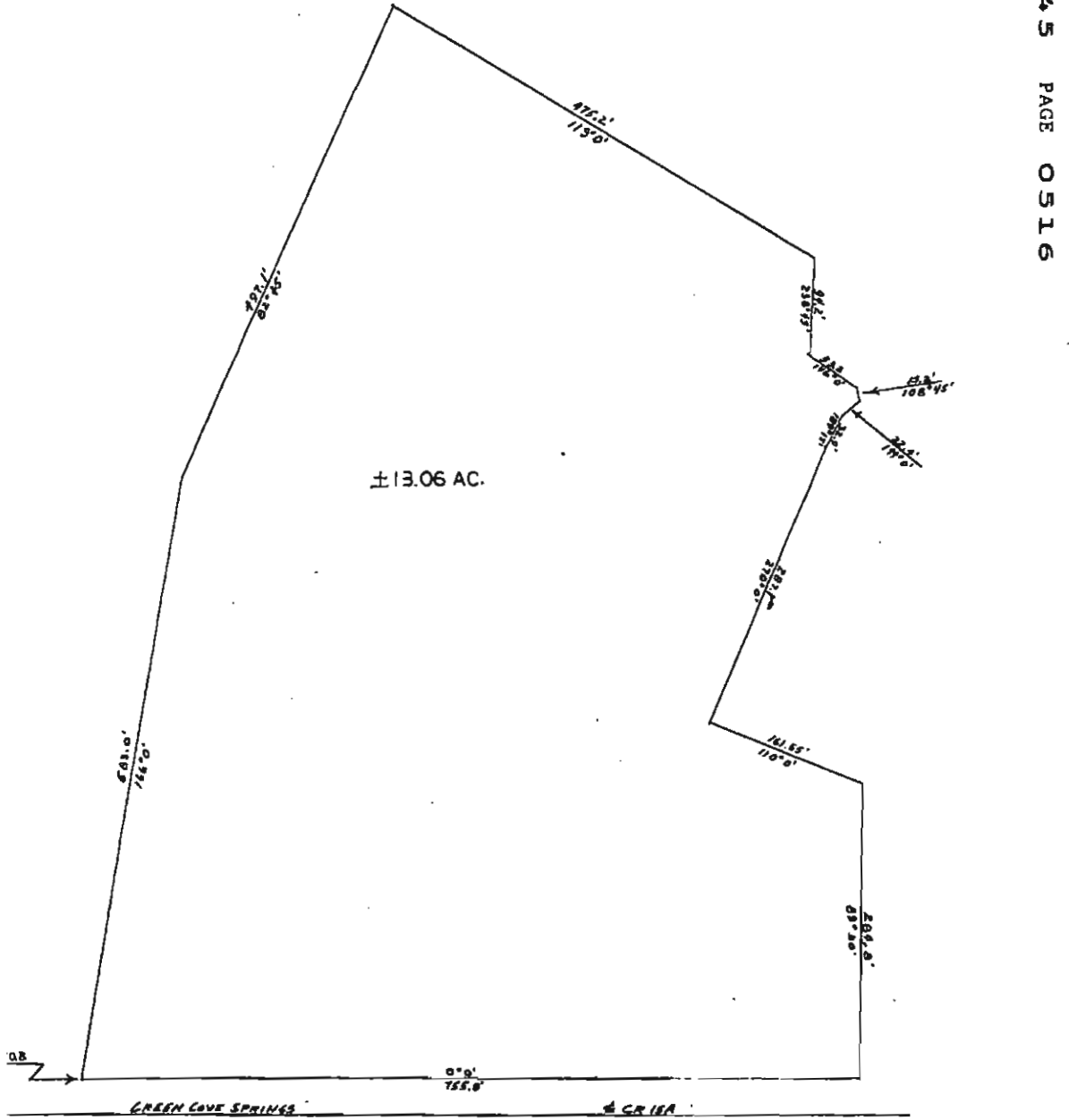
A track of land consisting of \pm 13.06 acres located in Clay County, State of Florida in the N.W. of Section thirty eight (38), Township Six (6) south, Range twenty six(26) East and more particularly described as follows:

Commence at the center line of Green Cove Ave. at the intersection of Green Cove Ave. and County Road 15A. Thence south along County Road 15A a distance of 1120.5' to a point of beginning (P.O.B.) (iron pipe) continuing south along C.R. 15A 755.8' to an iron pipe (35.0' east of centerline of C.R. 15A) (CR#2) turn an angle of 89° 30' from P.O.B. and continue east a distance 284.8' to an iron pipe (CR#3) turn an angle of 110° 0' from CR#2 and continue north a distance of 161.55' to a brass cap set in concrete (CR#4) turn an angle of 270° 0' from CR#3 and continue east a distance of 287.1' to an iron pipe (CR#5) turn an angle of 189° 15' from CR#4 a distance of 32.9' to a brass cap set in concrete (CR#6) turn an angle of 199° 0' from CR#5 and continue south east 22.4' to a brass cap set in concrete (CR#7) turn an angle of 108° 45' from CR#6 continue east a distance of 15.2' to a brass cap set in concrete (CR#8) turn an angle of 146° 0' from CR#7 and continue north east a distance of 52.2' to an iron rod (CR#9) turn an angle of 238° 45' from CR#8 and continue a distance of 94.2' to an iron pipe (CR#10) turn an angle of 119° 0' from CR#9 and continue 475.2' to an iron pipe (CR#11) turn an angle of 82° 45' from CR#10 and continue a distance of 497.1' to an iron pipe (CR#12 located @ fence corner) turn an angle of 166° 0' and continue a distance of 583.0' to the Point Of Beginning.

SEE ATTACHED MAP # 2



North
←





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation
GUSTAFSON'S CATTLE, INC.

Filing Information

Document Number	P93000028514
FEI/EIN Number	59-3175830
Date Filed	04/16/1993
State	FL
Status	ACTIVE
Last Event	NAME CHANGE AMENDMENT
Event Date Filed	07/06/2004
Event Effective Date	NONE

Principal Address

135 W. BAY STREET, SUITE 400
JACKSONVILLE, FL 32202

Changed: 04/07/2020

Mailing Address

P.O. BOX 600337
JACKSONVILLE, FL 32260-0337

Changed: 04/07/2020

Registered Agent Name & Address

BRANT, REITER, MCCORMICK & JOHNSON, P.A.
135 W. BAY STREET, SUITE 400
JACKSONVILLE, FL 32202

Name Changed: 04/20/2016

Address Changed: 04/07/2020

Officer/Director Detail

Name & Address

Title DPVP

GUSTAFSON, E.S. JR.
P.O. BOX 600337
JACKSONVILLE, FL 32260-0337

Title AVPS

GUSTAFSON, EDDIE
 P.O. BOX 600337
 JACKSONVILLE, FL 32260-0337

Annual Reports

Report Year	Filed Date
2018	02/26/2018
2019	02/04/2019
2020	04/07/2020

Document Images

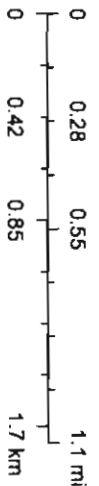
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02/04/2019 – ANNUAL REPORT	View image in PDF format
02/26/2018 – ANNUAL REPORT	View image in PDF format
02/13/2017 – ANNUAL REPORT	View image in PDF format
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04/28/2006 – ANNUAL REPORT	View image in PDF format
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05/04/2004 – ANNUAL REPORT	View image in PDF format
04/09/2004 – Amendment and Name Change	View image in PDF format
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07/15/1997 – ANNUAL REPORT	View image in PDF format
05/01/1996 – ANNUAL REPORT	View image in PDF format
03/31/1995 – ANNUAL REPORT	View image in PDF format

Vicinity Map



September 15, 2020

1:36,112

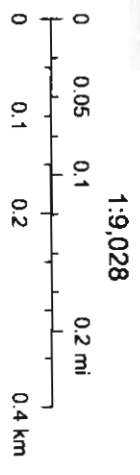


St. Johns County, Earthstar Geographics

Aerial Map



September 15, 2020



St. Johns County, USDA FSA, GeoEye, Maxar

Future Land Use Map (County)



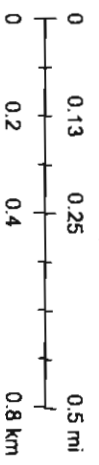
- September 15, 2020
- drawGraphics_poly
 - User drawn polygons
 - School
 - Park
 - Library
 - Bookmobile
 - Library: Main Library
 - Fire Station

Zoning Map (County)



September 15, 2020

-  drawGraphics_poly
-  User drawn polygons
-  School
-  Park
-  Library
-  Bookmobile
-  Library, Main Library
-  Fire Station



1:18,056

St. Johns County, USDA FS&A, GeoEye, Maxar

Large-Scale Comprehensive Plan Amendment Application

Ayrshire

(RMD)

Comprehensive Plan Amendment Consistency Analysis

November 30, 2020

Revised March 22, 2021

Applicant Information:

Applicant: D.R. Horton - Jacksonville
Bob Porter, Anthony Sharp, John Gislason
4220 Race Track Road
Jacksonville, Florida 32259
(904) 268-2845

Legal: Rogers Towers, P.A.
Ellen Avery-Smith, Esq.
100 Whetstone Place, Suite 200
St. Augustine, Florida 32086
(904) 824-0879

**Planning/
Civil Engineering:** Dunn & Associates, Inc.
Vince Dunn, David Taylor
8647 Baypine Road, Suite 200
Jacksonville, Florida 32256
(904) 363-8916

Environmental: Carter Environmental Services, Inc.
Ryan Carter
42 Masters Drive
St. Augustine, Florida 32084
(904) 540-1786

Traffic: Chindalur Traffic Solutions, Inc.
Rajesh Chindalur
8515 Baymeadows Way, Suite 401
Jacksonville, Florida 32256
(904) 422-6923

Project Overview

D.R. Horton - Jacksonville (“**Applicant**”) is the contract purchaser of approximately 561 acres located east of County Road 15A, west of U.S. Highway 17 South and south of State Road 16W (Green Cove Avenue) in unincorporated Clay County (the “**Property**”). The Property is the former site of Gustafson’s Dairy Farm, which closed in 2013 and is now abandoned. The Property is currently primarily used for silvicultural purposes. The Property has Clay County Parcel Identification No. 38-06-26-016515-000-00 and is currently owned by Gustafson’s Cattle Inc.

The Applicant is requesting to annex the Property into the City of Green Cove Springs and to change the Future Land Use Map (“**FLUM**”) designation of the Property to Residential Medium Density (RMD). The Property is currently located within unincorporated Clay County and has existing FLUM designation of Rural Fringe and Industrial. The existing zoning district for the Property is Agricultural (AG) and Industrial Select (IS). Concurrently with this application, the Applicant has filed an application for voluntary annexation to have the Property included within the corporate limits of the City of Green Cove Springs (the “**City**”). The Applicant will also apply to rezone the Property to Planned Unit Development (the “**PUD**”).

The Applicant proposes to develop a mixed-use project consisting of a maximum of 2,100 residential units, to include both single-family and multi-family units. A minimum of 70 percent of the units will be single-family homes. Proposed Future Land Use Map and Generalized Site Plan for the intended plan of development of the Property are enclosed with this application.

The Property is bordered on the north by vacant, recreational property owned by the City; on the east by railroad right-of-way and existing industrial uses; on the west by a mix of uses, including existing residential and agricultural uses; and to the south by vacant, agricultural and existing industrial uses. The proposed Ayrshire project is located near the First Coast Expressway, which is currently under construction.

The Property will be developed in one (1), 20-year phase. The Residential Medium Density FLUM designation allows for residential density ranging from four (4) units to eight (8) dwelling units per acre. The Applicant is proposing a density of no more than eight (8) units per developable acre within the Property.

The Generalized Site Plan illustrates how the Applicant has taken steps to preserve a majority of the on-site wetlands. The project will also provide a number of recreational fields with restrooms, a pool pavilion, a children’s playground, and parking to serve residents of the Ayrshire community. The Generalized Site Plan also shows site access, drainage and open space.

Project Benefits

A list of the project’s public benefits includes:

1. Providing much-needed housing for inventory in the City, with a variety of housing types and price points.

2. Constructing an access road to a City park site from U.S. Highway 17 to allow use of the land by City residents and others. The road will connect into the Property to provide residents with a second access road (the other access is County Road 15A).
3. Preservation of a majority of on-site wetlands.
4. Preservation of approximately 20 percent of the Property as open space, including green space and lakes.
5. Providing sidewalks and bike paths that interconnect off-site, which will be open to the public.
6. Providing parks for community residents and their guests.
7. Property taxes and other revenues generated will more than pay for public services for new residents.

Compatibility with Surrounding Uses

This Comprehensive Plan Amendment (“CPA”) application, along with the companion PUD rezoning application, will result in a maximum of 2,100 residential dwelling units, which supports the projected growing population of the City and Clay County by providing for more housing options for current and future residents.

The Property is located to the south of the existing City boundary, adjacent to or near lands with FLUM designation of Recreation. The Property is located adjacent to or near lands with Clay County FLUM designations of Agricultural (AG) and Agricultural/Residential (AR) to the west, and Heavy Industrial (IB) to the south and east. The surrounding neighborhood has a variety of lot sizes and residential types, as well as a mix of industrial uses.

The companion PUD rezoning application will allow for a more efficient use of the site in a manner that ensures compatibility with the surrounding uses. The proposed site plan has increased buffers to minimize the impact of this development to surrounding residential properties.

City of Green Cove Springs Comprehensive Plan Analysis and Project Justification

The following Comprehensive Plan Elements have Goals, Objectives and Policies that support this application to amend the FLUM designation of the Property to Residential Medium Density (RMD) and Gustafson Activity Center (GAC). The Comprehensive Plan text is in **bold** below, with consistency analysis in *italics* below each goal, objective and policy.

FUTURE LAND USE ELEMENT

Goal 1

To develop and maintain land use programs and activities to provide for the most appropriate use of the land and direct growth to suitable areas while protecting the public, health, safety and welfare.

The Property is currently within the boundaries of unincorporated Clay County. By annexing the Property into the City of Green Cove Springs, the Council will provide for additional, much-needed housing in an area suitable for growth. With the First Coast Expressway being built near the property, utility lines in place nearby and the adjacent railroad line, the proposed Ayrshire project is appropriate.

Objective 1.2

The City shall assure that future land uses have essential facilities and services which meet locally established levels of service (LOS) standards and adopted as part of the Capital Improvements Element (CIE).

Policy 1.2.1 The City shall ensure that development orders are conditioned upon the provision of essential facilities and services which meet the established level of service standards and necessary to serve the proposed development by reviewing each site plan/development proposal to ensure compliance with concurrency and do not go beyond LOS threshold.

The Property is currently undeveloped. The proposed development will not exceed the adopted level of service thresholds for public facilities. The Applicant will extend utility lines and public roads to serve the project and surrounding lands.

Policy 1.2.3 The City shall review proposed annexation requests to determine if potential development may impact services provided by the City and governed by its concurrency management system such that the adopted level of service would be negatively affected at the maximum development potential for the properties under the City's proposed land use category. The impacts calculated shall recognize credits based on the development potential under the existing County land use designation. Parcels that are determined to negatively impact the City's ability to maintain its adopted level of service based on existing and planned improvements shall be required to enter into an agreement with the City prior to approval of a final development order to mitigate impacts associated with the actual development plans consistent with the City's concurrency management system.

The Applicant will provide project roadway connection to County Road 15A and U.S. Highway 17 South, in the locations depicted on the Generalized Site Plan, and will extend water and sewer lines to the site. An existing railroad line runs adjacent to the site, for potential industrial use. The Applicant will provide parks to serve community residents and will construct an extension of the City's trail system that will be open to the public. The Applicant will preserve a majority of on-site wetlands as natural areas.

Objective 1.5

The City shall enforce innovative land development regulations for new developments, which protect the City's natural resources. Policies 1.5.1 Planned Unit Developments shall be encouraged to control growth and design.

Policy 1.5.1 Planned Unit Developments shall be encouraged to control growth and design.

This application to develop approximately 561 acres within the City will allow a maximum of 2,100 single-family and multi-family residential units. Through the concurrent Annexation Application, the tax parcel will be brought within the City limits, allowing growth to occur within the City. The proposed PUD zoning designation will allow for a more efficient use of the site in a manner that ensures compatibility with the surrounding area.

Objective 1.6

Future land use densities and intensities shall be in accordance with the Land Use Element.

Policy 1.6.1.(a)(2) Medium Density Residential (>4 to 8 dwelling units per acre). This category consists primarily of duplex dwelling units and multi-family dwelling units. Single-family dwellings, churches, group homes, housing for the elderly and similar uses shall also be included.

The companion PUD rezoning application proposes a maximum of 2,100 single-family and multi-family residential units. The proposed densities and intensities of use will not exceed that permitted within the applicable Future Land Use Map designation.

Objective 1.7

The City shall discourage the proliferation of urban sprawl through the appropriate land use.

The proposed Ayrshire project will discourage urban sprawl by annexing the Property into the City's corporate boundaries and providing a future land use designation appropriate for the area. With the First Coast Expressway being constructed near the Property, growth will occur in this area. Section 9J-5.003(134), Florida Administrative Code, defines urban sprawl as urban development or other uses which are located in predominantly rural areas, or rural areas interspersed with generally low-intensity or low-density uses. This site is located adjacent to the City limits, in an area with fairly high-density residential uses, along with commercial and industrial uses. The City has utility lines near the site, which can be extended by the Applicant to

serve the project. U.S. Highway 17 and County Road 15A are existing collector roads that serve the Property, and the First Coast Expressway will soon be available for travel. The proposed density of the project is not low-density, nor is it leapfrog or scattered development.

Policy 1.7.1 The location and timing of new development and the issuance of permits shall be coordinated with the availability of public facilities (including, but not limited to: central sewer, potable water, drainage, roads, and solid waste collection) through implementation of growth management measures such as infill development phasing, programming and appropriate over-sizing of public facilities and zoning and subdivision regulations.

The residential units within the Property can be easily served by the existing County Road 15A and U.S. Highway 17 South for access. The project will also be served by the future First Coast Expressway, which is under construction to the south. A rail line is located along the eastern boundary of the site. Project utilities will be provided as required by applicable provisions of the Code. The availability of water and sewer utilities in the City required to serve the initial phase of the project will be accessed at the time of design. The Applicant will extend all water and sewer lines to serve the Property and connect to CCUA once its new water and wastewater plants are completed.

Policy 1.7.2 The City Limits shall define the urban service area for land planning purposes. The City provides the same level of service to all of the properties within its boundaries and will consider its ability to offer the same level of service to properties under consideration for annexation prior to accepting additional lands into the City.

The Property is located adjacent to the existing city limits, and thus the City's urban service area boundary, and the Applicant has requested to include the site within said boundary via the pending annexation and CPA applications.

Policy 1.7.3 The City shall promote the annexation of property located within the Green Cove Springs utility service boundary.

The Property is located within the City's electricity grid. Historically, the City provided electricity to the Gustafson's plant on the project site.

Objective 1.10

The City may approve amendments to the Comprehensive Plan that are consistent with state law.

Upon the City's approval of the companion annexation application, the Property will be within the corporate boundaries of Green Cove Springs. Then City then has the legal authority to amend its Comprehensive Plan to give the Property the requested Residential Medium Density future land use designation.

Objective 1.14 - PROPOSED

Objective 1.14 The City shall adopt, as necessary, Future Land Use Map Amendments with specific development conditions that are consistent with the City's adopted Level of Service (LOS) standards and Future Land Use Element, and compatible with the surrounding uses.

Policy 1.14.1: Future Land Use Map (FLUM) Amendment 20-XXXX was adopted by Ordinance Number xxxxx on Mm/dd/2021 for that portion of property within Clay County Parcel Identification No. 38-06-26-016515-000-00 located east of County Road 15A and west of U.S. Highway 17 (the "Property") and changed the future land use designation from County Industrial and County Rural Fringe to Residential Medium Density. The Property shall meet the requirements of all applicable goals, objectives, policies and map designations of the Comprehensive Plan; provided, however, land use/development potential for the Property made available by FLUM Amendment XX-000X is hereby limited as follows:

- 1. The Property shall be developed in accordance with a Planned Unit Development, as may be approved by the City in accordance with the City's Land Development Regulations in effect at the time of the PUD application.**
- 2. Recreational facilities shall be provided commensurate with the City's Level of Service standard for Recreation set forth in the Recreation and Open Space Element, Policy 6.3.4, of the Comprehensive Plan in effect at the time of the PUD application.**
- 3. Coincident with horizontal construction for the first residential subdivision within the Property, the Property owner/developer shall partner with the City regarding the development of the Gustafson Regional Park. The details of such park development partnership shall be set forth in a development agreement for the Property to be entered into by the City and the Property owner/developer concurrently with the Property being annexed into the City boundaries (the "Development Agreement"). The Property owner/developer's contribution to the Gustafson Regional Park shall apply toward the project's required recreational facilities, per Policy 6.3.4 of the Recreation and Open Space Element of the Comprehensive Plan.**
- 4. The Property owner/developer will be required to provide the traffic mitigation agreed upon between the City and the Property owner/developer, based on the traffic analysis provided by the Property owner/developer. Such required traffic mitigation and other public facility improvements related to development of the Property will be set forth in the Development Agreement. Any required project mitigation shall be in conformance with applicable provisions of the City's Code of Ordinances and with Section 163.3180, Florida Statutes).**

- 5. Silvicultural and agricultural activities on that portion of the Property zoned Agriculture pursuant to the County's Zoning Map in existence as of the effective date of Ordinance Number XXX shall be allowed until such time as horizontal construction begins on the Property or any portion thereof for the uses approved in the PUD.**

The Applicant will submit a Planned Unit Development rezoning application for the Property, which will include the proposed maximum 2,100 residential units. The Applicant will also submit a Development Agreement detailing public facilities to be provided by the City and the Applicant to serve the Ayrshire project. Recreational facilities for the proposed residential units will comply with Policy 6.3.4. The Applicant will partner with the City on development of the Gustafson Regional Park. The Applicant will submit a traffic study with the PUD rezoning application and will set forth details regarding traffic mitigation in the Development Agreement.

TRANSPORTATION ELEMENT

Objective 2.8 Site Development Traffic Circulation

The City shall require that all major developments and planned unit developments provide a circulation system which: provides adequate access to the major roadway network; provides for sound design of local and collector streets within such development; provides for the development of multi-use trails, and otherwise provides for the objectives and policies of the Land Use and Transportation Plan.

The Applicant will utilize the existing County Road 15A and U.S. Highway 17 South to access the proposed development, in the locations depicted on the Generalized Site Plan. Internal roads will be public. As depicted on the Generalized Site Plan, the Applicant will include internal automobile, bicycle and pedestrian interconnectivity within the Property and, to the extent practicable, adjacent lands.

HOUSING ELEMENT

GOAL 3

The City of Green Cove Springs shall make provisions for adequate and affordable housing that meets the physical and social needs of all segments of the current and future population of the City.

This application supports the projected growing population of the City by providing more housing options for current and future residents. According to the Office of Economic and Demographic Research, Clay County's population will increase to 300,961 by 2045, and the City's population is expected to increase proportionately. This application and the companion PUD rezoning application will result in a maximum of 2,100 additional residential dwelling units on the subject Property, an increase in the variety of housing within the City. The project will provide a variety of lot sites and hence a range of market rate prices for housing within the City.

Objective 3.1 Adequate and Affordable Housing

The City shall continue to assist the private sector in providing dwelling units of various types, sizes, and costs to meet the housing needs of the current and future residents and residents with special housing needs.

This Application permits a maximum of 2,100 residential units, supporting the objective to provide dwelling units of various types, sizes and costs.

SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER AND ACQUIFER RECHARGE ELEMENT

GOAL 4

The City of Green Cove Springs shall provide sanitary sewer, solid waste, drainage and potable water facilities and services to meet the needs of existing and future populations.

Policy 4.1.3 All improvements for replacement, expansion, or increase in capacity shall be compatible with the adopted level of service standards for facilities.

The proposed development will not exceed the adopted level of service thresholds for public facilities and shall be compatible.

Objective 4.6

Future development shall be required to connect with central sewer and water systems and provide drainage facilities which maximize the use of existing facilities and discourage urban sprawl.

As part of the subdivision approval of this project, the development will use existing water and sewer facilities for the initial phase of the development. Subsequent phases will be served by CCUA once its new water and wastewater plants are completed. Drainage facilities will be provided on site.

CONSERVATION ELEMENT

GOAL 5

The City of Green Cove Springs shall conserve, utilize, and protect its natural resources to ensure that adequate resources are available for future generations.

The Applicant will preserve a majority of on-site wetlands and adjacent uplands within the project, which shall enhance the natural attributes of the site. This preservation will ensure that natural and environmental resources will be available for existing and future generations.

Objective 5.6

Consistent with Objectives and Policies of the Conservation Element, the City will protect significant habitats of viable populations of threatened or endangered species.

The Applicant will notify all appropriate federal, state, regional and local agencies regarding any listed species and critical habitats located within the Property and will comply with the applicable laws, rules and regulations that protect listed species.

RECREATIONAL AND OPEN SPACE ELEMENT

GOAL 6

To provide and maintain a full range of recreational activities to meet the cultural, social and athletic needs of the City and provide open space to meet the aesthetic, health, safety, and welfare needs of its citizens and visitors.

The Project will be a complete neighborhood, with parks and recreational amenities that provide a high quality of life for residents of the proposed 2,100 homes. The Applicant will provide parks and recreational amenities within the project.



MEMORANDUM

TO: Ellen Avery-Smith, Rogers-Towers

FROM: Ken Creveling

SUBJECT: Housing Needs Analysis, Ayrshire, Green Cove Springs, FL

DATE: January 6, 2021

This memorandum is in response to comments by the City of Green Cove Springs on the Housing Needs Analysis prepared by this firm for the Ayrshire mixed-use project proposed by D.R. Horton. The project is proposed to include a maximum of 2,750 residential units.

Comment #7. Pursuant to Table 8 of the Evaluation and Appraisal Report (EAR) for the 2025 County Comprehensive Plan, there are 9,583 “household” units projected for the GCS (Planning District) between 2020 and 2040, as opposed to 9,906 “housing” units shown in the Housing Needs Analysis. Please explain the discrepancy.

Background. Table 8 of the EAR presents projections to 2040 for only the unincorporated area of the County (see attached EAR, page 54). Projections show an increase of 9,583 “households” for the Green Cove Springs Planning District. Growth in the incorporated City of Green Cove Springs is excluded. Table 8 uses the term “household,” which is normally understood to mean “occupied” housing units. Projections presented in Table 8, therefore, are actually for all housing units, including vacant units, and are based on vacancy factors for all seven Planning Districts, including a factor of 9.42 percent for the GCS Planning District, which is held constant to 2040. **Note:** Vacancy rates vary widely by Planning District (see attached EAR Table 7, page 53). Table 8 projections for all seven Planning Districts are also based on a countywide average household size factor of 2.76, also held constant to 2040, whereas average household size varies widely by Planning District (see attached EAR Table 4, page 140).

Response. Housing projections presented in the Housing Needs Analysis for the GCS Planning District are inclusive of both the unincorporated and incorporated areas and are based on and derived from county population projections in the EAR by Planning District (see attached EAR Table 5, page 52). Table 12 (page 17) of the Housing Needs Analysis shows the derivation of 2020-2040 housing demand/needs for both the Penney Farms/Asbury and GCS Planning Districts, including assumptions made for each Planning District with respect to average household size and vacancy rates, which will change over time. Projected 2020-2040 housing demand/need in the GCS Planning District is for 10,851 units.

Memorandum to Ellen Avery-Smith
 January 6, 2021
 Page 2

There is no correlation between the projected 9,583 “households” (actually housing units) in EAR Table 8 and the projected 9,906 households (occupied housing units) in the GCS Planning District shown in Table 12 of the Housing Needs Analysis. EAR Table 8 projections apply only to housing units in the unincorporated area, whereas household projections in Table 12 of the Housing Needs Analysis are for occupied housing units in the entire Planning District area. Instead, the projected 9,583 housing units in EAR Table 8 for the unincorporated area are more comparable to the 10,851 units projected for the entire GCS District in Table 12 of the Housing Needs Analysis.

Comment #8. How were the number of units from the Saratoga Springs DRI calculated for the Green Cove Springs Planning District?

Response. The number of approved units in the Saratoga Springs DRI (4,256) were divided between the GCS and Penney Farms/Asbury Planning Districts, based on approximate 30-70 percent shares, respectively, of the DRI land area in each District. The 30-percent share for the GCS Planning District is so stated in the last paragraph on page 18 of the Housing Needs Analysis report.

Comment #9. What is the proposed mix of single-family to multifamily units?

Response. A maximum of 30 percent of the proposed units will be multifamily, with the remainder being single-family.

Comment #10. Include Magnolia Point as an “Active Development” in Tables 6 and 9.

Response. Magnolia Point is not considered an “active development” as no new home sales were reported in the past 30 months (7/18–12/20) and, therefore, was not included in these two tables. Only residential projects with new home sales in recent years, including 2020, were included.

is ample land for future development and significant growth pressures are now anticipated in the District in the planning period due to the planned construction of the Expressway.

The **Penney Farms-Lake Asbury Planning District** can be subdivided into Penny Farms and Lake Asbury Master Plan areas. One Development of Regional Impact has been approved within the Lake Asbury Master Plan Area but has yet to begin construction. There are large tracts of land available for future development within the Lake Asbury Master Plan Area which will likely develop once the First Coast Expressway is completed.

Outside of the **Keystone Heights City Limits**, the **Keystone Heights Planning District** is characterized by low density, high vacancy, rural development primarily accessed by dirt roads. Most of the land surrounding the many lakes in the region is developed. This District has slow but steady population growth with ample land available for future residential development within the planning period. There are several vested subdivisions, and in subdivisions which are not vested small lots can be combined to create conforming lots. Most of the undeveloped area beyond the immediate vicinity of the City of Keystone Heights is restricted to densities of one dwelling per ten or twenty acres. In recent years, over 11,000 acres have changed from agriculture land use (1 dwelling per twenty acres) to Agriculture/Residential to allow for development up to one dwelling per five acres with points and clustering. Current policy places annual limits on development within these more rural lands.

Seasonal Population

An estimate and projection of "seasonal" population is also required by 163.3177 F.S. "Seasonal" population refers to "tourist, migrant farmworkers, and other short-term and long-term visitors," who may be expected to utilize public facilities or services but are not full-time residents as defined by the Census. While many Florida counties will be severely affected by high seasonal population, this is a minor factor in unincorporated Clay County.

The Clay County projection was prepared on the basis of historical building permit data in each Traffic Analysis Zone. Reasonably, the building permit numbers are a combination of occupancy, vacancy, and others without certificate of occupancy information.

Table 5 – Clay County Total Population 2010-2040

Year	Middleburg/ Clay Hill	Doctors- Islet/ Ridgewood	Orange Park	Fleming Island	Green Cove Springs	Penney Farms/ Lake Asbury	Keystone Heights	Total
2010	18,888	73,900	25,069	27,128	14,318	14,183	17,381	190,865
2015	19,277	81,231	25,173	27,866	14,682	15,325	17,724	201,277
2020	19,216	87,894	26,154	28,644	18,419	24,899	18,174	223,400
2025	19,054	94,105	27,067	29,275	21,775	34,365	18,558	244,200
2030	18,793	94,095	27,608	28,831	32,105	42,032	18,635	262,100
2035	18,611	98,807	28,106	28,531	38,881	46,981	18,780	278,700
2040	18,502	104,016	28,659	28,424	44,850	50,584	18,963	294,100

Source: BEBR, Florida Population Studies, Vol. 50, Bulletin 177, April 2011, Clay County Planning and Building Divisions, 2017. Municipality projections are based on proportion of Total County Population in 2016 according to the Office of Economic and Demographic Research, Oct. 17, 2016.

2020-210 +26,531

Population Summary

The unincorporated area of the County has been divided into seven Planning Districts, as shown on the Planning Districts Map. Traffic Analysis Zone data from the TPO's Northeast Regional Planning Model was utilized to distribute the County's total projected population, into these sub-areas. The results of this distribution of the County's population are shown in **Tables 5 and 6**. Within the unincorporated area, the distribution shows that the rate of growth continues to be increased in the Doctors Inlet-Ridgewood, Penny Farms-Lake Asbury, Keystone Heights and Green Cove Springs Planning Districts. The Fleming Island, Orange Park and Middleburg/Clay Hill Planning Districts are predicted to decrease in population as fewer parcels are available.

Table 6 – Clay County Total Population (Unincorporated) 2010-2040

Year	Middleburg/Clay Hill	Doctors Inlet-Ridgewood	Orange Park	Fleming Island	Green Cove Springs	Penny Farms-Lake Asbury	Keystone Heights	Total
2010	18,888	73,900	16,657	27,126	7,410	13,434	16,031	173,448
2015	19,277	81,231	16,663	27,866	7,639	14,579	16,357	183,611
2020	19,216	87,894	16,790	28,640	10,292	24,094	16,690	203,620
2025	19,054	94,105	16,831	29,276	12,892	33,485	16,936	222,579
2030	18,793	94,095	16,622	28,830	22,571	41,087	16,894	238,894
2035	18,611	98,807	16,424	28,530	28,743	45,976	16,929	254,024
2040	18,502	104,016	16,332	28,424	34,251	49,525	17,009	268,061

Source: BEBR, Florida Population Studies, Vol. 50, Bulletin 177, April 2017, Clay County Planning and Building Divisions, 2017. Municipality projections are based on proportion of Total County Population in 2010, according to the Office of Economic and Demographic Research, Oct. 17, 2016.

Average Household Size and Vacancy Rates *2020-2040 +28,959*

Based on the 2010 Census, the Office of Economic and Demographic Research reports the average household size in Clay County is 2.76. To derive household projections, vacancy rates per planning district generally need to be applied to population projections. Average vacancy rates for planning districts are summarized in Table 7 for reference.

Table 7 – Average Vacancy Rates for Planning Districts

Middleburg/Clay Hill	Doctors Inlet-Ridgewood	Orange Park	Fleming Island	Green Cove Springs	Penny Farms-Lake Asbury	Keystone Heights
8.27%	7.77%	8.41%	5.93%	9.42%	7.70%	16.17%

Source: Clay County Planning and Zoning Division, 2017, Northeast Florida Regional Transportation Model 2017

Households ?

The household estimates and projections are calculated based on the population figures in **Table 5**, the average household size and the average vacancy rates shown in **Table 7**. The unincorporated area of Clay County, as shown in **Table 8**, is projected to have approximately 106,072 households by the year 2040, or an additional 33,375 households between 2015 and 2040.

Table 8 – Clay County Unincorporated Area Household Estimates and Projections

Year	Middleburg Clay Hill	Doctors Inlet Ridgewood	Orange Park	Fleming Island	Green Cove Springs	Pentley Farm Lake Ashury	Keystone Heights	Total
2010	7,460	29,031	6,589	10,448	2,964	5,273	6,929	68,695
2015	7,614	31,911	6,591	10,733	3,056	5,723	7,069	72,697
2020	7,590	34,529	6,642	11,033	4,117	9,458	7,213	80,581
2025	7,526	36,969	6,658	11,276	5,157	13,145	7,320	88,050
2030	7,423	36,964	6,576	11,105	9,028	16,128	7,302	94,526
2035	7,351	38,815	6,497	10,990	11,497	18,048	7,317	100,516
2040	7,308	40,862	6,461	10,948	13,700	19,441	7,352	106,072

Source: BEBR, Florida Population Studies, Vol. 50, Bulletin 177, April 2017, Clay County Planning and Building Divisions, 2017 U.S. Census, 2010.

Existing Land Use

2020 - 2040 +9,583

This section contains an analysis of existing land use and past development trends in Clay County. The analysis for Existing Land Use (**Figure 15**) and its series (**Figure 16**) Adjacent Land Use; (**Figure 17**) Vacant Land Analysis Map; (**Figure 12**) Historic Resources; (**Figure 9**) Potable Waterwells; (**Figure 7**) Rivers, Bays, Lakes, Floodplains, and Harbors; (**Figure 3**) Wetlands; (**Figures 5 and 6**) Soils; and (**Figure 24**) Minerals is based on Clay County Property Appraisers Office Data (2017), supplemented by information on 2009 natural color and color infrared aerial photography (2009 SJRWMD Land Use and Land Cover). The Existing Land Use Map depicts the existing pattern of land uses that affect future land use decisions in Clay County as of 2017 and the Adjacent Land Use Map (2009 SJRWMD Land Use and Land Cover Map) reveals the existing land uses adjacent to the County's boundary line as required by 163.3177(6)(a) F.S.

Past development trends are addressed in the second part of this section. Such trends were identified from a study of historical patterns of growth based on approved subdivisions, rezoning requests, and applications for building permits.

Table 4 – Average Household Size

Planning District	Persons per Household		
	Owner-Occupied	Renter-Occupied	Combined
Middleburg / Clay Hill	2.77	3.33	3.05
Doctors Inlet / Ridgewood	2.93	2.95	2.94
Orange Park	2.49	2.65	2.57
Fleming Island	2.91	3.36	3.14
Green Cove Springs	2.75	2.36	2.56
Penney Farms / Lake Asbury	2.76	2.25	2.51
Keystone Heights	2.82	2.59	2.61
Total Unincorporated County	2.75	2.78	2.77

Sources: U.S. Census Bureau, 2011-2015 American Community Survey 5-Year Estimates, Selected Housing Characteristics, DP04 Florida Housing Data Clearinghouse, Affordable Housing Needs Assessment Quick Report

Table 5 – Age of Population

Planning District	Under 5 Years	5 to 19 Years	20 to 44 Years	45 to 64 Years	65 years and over	Total
Middleburg / Clay Hill	1,073	3,225	5,530	5,191	2,268	17,287
Doctors Inlet / Ridgewood	4,340	18,333	25,321	18,474	7,993	74,461
Orange Park	1,061	2,923	5,867	4,145	2,376	16,372
Fleming Island	1,608	8,917	9,416	10,460	4,532	34,933
Green Cove Springs	333	1,014	2,110	2,466	1,112	7,035
Penney Farms / Lake Asbury	728	2,809	4,120	4,242	2,011	13,910
Keystone Heights	837	2,495	3,913	5,069	2,857	15,171
Total Unincorporated County	9,980	39,716	56,277	50,047	23,149	179,169

Source: U.S. Census Bureau, 2011-2015 American Community Survey 5-Year Estimates, ACS Demographic and Housing Estimates, DP05



*Housing Needs Analysis
Ayrshire Residential Community
Green Cove Springs, Florida*

November, 2020

*Prepared for
D.R. Horton
St. Johns, Florida*

*By
URBANOMICS, Inc
Ponte Vedra Beach, Florida*

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1. Background and Summary

STUDY OBJECTIVE AND SCOPE

Objective

URBANOMICS, Inc., was retained by D.R. Horton to prepare a housing needs analysis for its proposed “Ayrshire” residential community in and adjacent to the City of Green Cove Springs. This “Needs Analysis” is required by the City to demonstrate the need for a Comprehensive Plan Amendment to accommodate the proposed development. As proposed, this community would contain a maximum of 2,750 housing units, including single-family homes on a mix of 40-foot and 50-foot lots and attached townhomes.

Scope of Analysis

This report analyzes and describes housing market characteristics of and trends in Clay County and the Green Cove Springs area as background for assessing and projecting demand (needs) for new housing to accommodate future population and household growth in the Green Cove Springs area. Analyses and findings are presented in three sections of this report.

A further description of the proposed development is provided in this section below, followed by an executive summary of key findings detailed in Sections 2 and 3. Section 2. Housing Market Characteristics and Trends details and analyzes trends in the numbers and types of residential building permits issued and in the numbers and prices of homes sold in recent years. The focus of this needs analysis is the Green Cove Springs zip code area (32043), and the Green Cove Springs Planning District, and the adjacent Penney Farms/Asbury Planning District. Planning Districts are those defined by the County.

Section 3. Housing Demand/Needs Analysis, presents analyses and projections of County and local area population and household growth to year 2040. These population and household projections provide the basis for assessing and projecting demand/needs for new housing units in the Green Cove Springs area, as needed to accommodate future numbers of new households.

PROJECT SITE AND LOCATION

The proposed site consists of property totaling approximately 890 acres located on the south side of the City of Green Cove Springs, as shown on the map below. The property is currently located in unincorporated Clay County and is proposed to be annexed into the City of Green Cove Springs.

The site is bounded along its east side by the CSX Railroad and on the west by County Road 15A (CR15A), S. Oakridge Avenue, a two-lane road linking State Road 16 (SR16) to the north and U.S. Highway 17 (US17) to the south. Green Cove Avenue is its northern border and the right-of-way of the proposed First Coast Expressway “outer beltway” is the southern boundary of the property. Future road connections are proposed to US17 on the northeastern side of the project and two locations on CR15A along the western boundary.



The 3,267-acre Governors Park development is also shown on the map. Approved in 2009, this Development of Regional Impact (DRI) is planned for 6,294 housing units, plus over 3.5 million square feet of commercial and industrial space. No development has taken place to date, as developers may be awaiting construction of the proposed First Coast Expressway interchange within the project boundary in the coming years.

SUMMARY OF FINDINGS

Housing Market Trends

- Clay County averaged 1,015 permits for new single-family homes annually in past five years, including 1,246 in 2019. The City of Green Cove Springs averaged 138 single-family home permits per year, including 167 in 2019. Single-family homes were 92.2 percent of all permitted housing units countywide.

- The market share of existing home sales in the Green Cove Springs area increased nearly threefold from 7.7 percent of countywide sales in 2015 to 19.4 percent in 2019.
- New single-family home sales in Zip Code 32043 increased from 20.4 percent of countywide sales in 2015 to 44.1 percent in 2020 through September. This is among a growing list of indicators that the Green Cove Springs area is becoming the emerging Clay County growth center.
- The average price for new single-family homes sold in 2020 through September is \$251,742, which is 90.3 percent of the countywide average. Most desirable were new homes priced from \$200,000 to \$225,000, which accounted for 32.7 percent of 2020 sales, followed by 18.2 percent for new homes sold from \$225,000 to \$250,000.
- Median household incomes in two St. Johns County zip code areas across the river from Green Cove Springs are twice that in Zip Code 32043. Wide differences in median incomes and housing prices indicates that the Green Cove Springs area may provide an attractive lower cost housing alternative to regional commuters. This is a very marketable feature as the First Coast Expressway progresses toward completion to I-95 over the next ten years.

Future Population Growth

- Demand or need for housing is driven by expected or projected growth of the local resident and seasonal population. For Clay County, the resident population is dominant, as the second homes and vacation housing are not a significant demand factor for most of the County.
- Projections of the resident population by County Planning District in five-year increments to 2040 are presented in the 2017 Evaluation and Appraisal Report of the Clay County 2040 Comprehensive Plan. They show the County adding 70,700 new residents from 2020 to 2040.
- Greatest population increases are projected for the Green Cove Springs Planning District and the adjacent Penney Farms/Asbury Planning District, which would add a projected 26,531 and 25,685 new residents, respectively. Projected population growth in these two Planning Districts account for a significant 73.9 percent of all countywide population growth from 2020 to 2040.
- Key reasons for this concentration of growth in central and southeastern sections of the County include an abundance open developable land and the expected economic impact of completing the construction of the First Coast Expressway “outer bypass” to I-95 in St. Johns County in the next ten years.

Housing Demand/Needs

- Projected population growth in the Green Cove Springs Planning District and adjacent Penney Farms/Asbury Planning District will generate 9,906 and 9,016 new households, respectively, from 2020 to 2040. Household projections reflect average household sizes (persons per household) that vary by District.
- These new households will, in turn, generate demand/need for 10,851 and 9,735 new housing units, respectively, from 2020 to 2040. Projections of housing demand/needs are based on applying vacancy factors to household projections, inasmuch as some units are vacant until sold or rented to new occupants or are vacant for other reasons.
- Population projections in the 2040 County Comprehensive Plan's Evaluation and Appraisal Report are based in part on projections for Florida counties made by the University of Florida's Bureau of Economic and Business Research (BEBR). These projections tend to be conservative and may not fully reflect the potential impact of the completion of the First Coast Expressway on future housing demand in the County. It is entirely likely that the County, particularly the greater Green Cove Springs area, will experience a higher level of population and household growth and resultant housing demand/needs than indicated by existing County projections.

Implications for the D.R. Horton's Ayrshire Community

- There are two large-scale approved developments in the Green Cove Springs Planning District – the Governors Park DRI and a small part of the Saratoga Springs DRI, which has been dormant for the 14 years since its approval. The two projects have a combined total of 7,570 housing units, compared to a demand/need for 10,851 units from 2020 to 2040.
- In addition, there are several much smaller residential projects in development and proposed in the Planning District, including Magnolia West (Phases 3 & 4), Edgewater Landing, Traceland, Black River Village, and Willow Springs. Altogether, these projects may another 500 un-permitted and un-built units.
- D.R. Horton proposes a maximum of 2,750 residential units in its Ayrshire community. The addition of this project would raise the number of potential new housing units to around 10,820, if and when all are fully built out. This is slightly less than the projected and potentially conservative demand for 10,851 housing units in the Green Cove Springs Planning District by 2040. The proposed Ayrshire community fits within projected demand/needs for new housing in Green Cove Springs area by 2040 and helps fulfill those needs.

2. Market Characteristics and Trends

HOUSING MARKET CHARACTERISTICS

Housing Types and Mix

Details presented in the most recent 2010 US Census provide a useful starting point for characterizing, understanding, and analyzing the Clay County housing market. The market consists of a combination of site-built detached single family homes, attached and multifamily units, and mobile homes. Their numbers and market shares vary widely in different areas of the County, as shown in Table 1 by County Planning District.

Single-family homes are the dominant type, having accounted for 70.7 percent of all units in 2010, followed by multi-family units (16.0 percent) and mobile homes (13.2 percent). The largest concentration of single-family homes in 2010 was in the Doctors Inlet/Ridge district, with over 21,000 units and representing a 39.1 percent share of the County total.

Largest shares of multi-family units in 2010 were in the Orange Park and Doctors Inlet/Ridge districts, both with over 4,000 units, representing 33.7 and 32.7 percent shares of the County total, respectively. The largest concentration of mobile homes in 2010 was in the Middleburg/Clay Hill district, with nearly 4,000 units and representing a 38.9 percent share of the County total. The Keystone Heights district had almost 3,000 mobile homes in 2010, a 28.7 percent share of the County total.

Table 1. Housing Mix by County Planning District, 2010

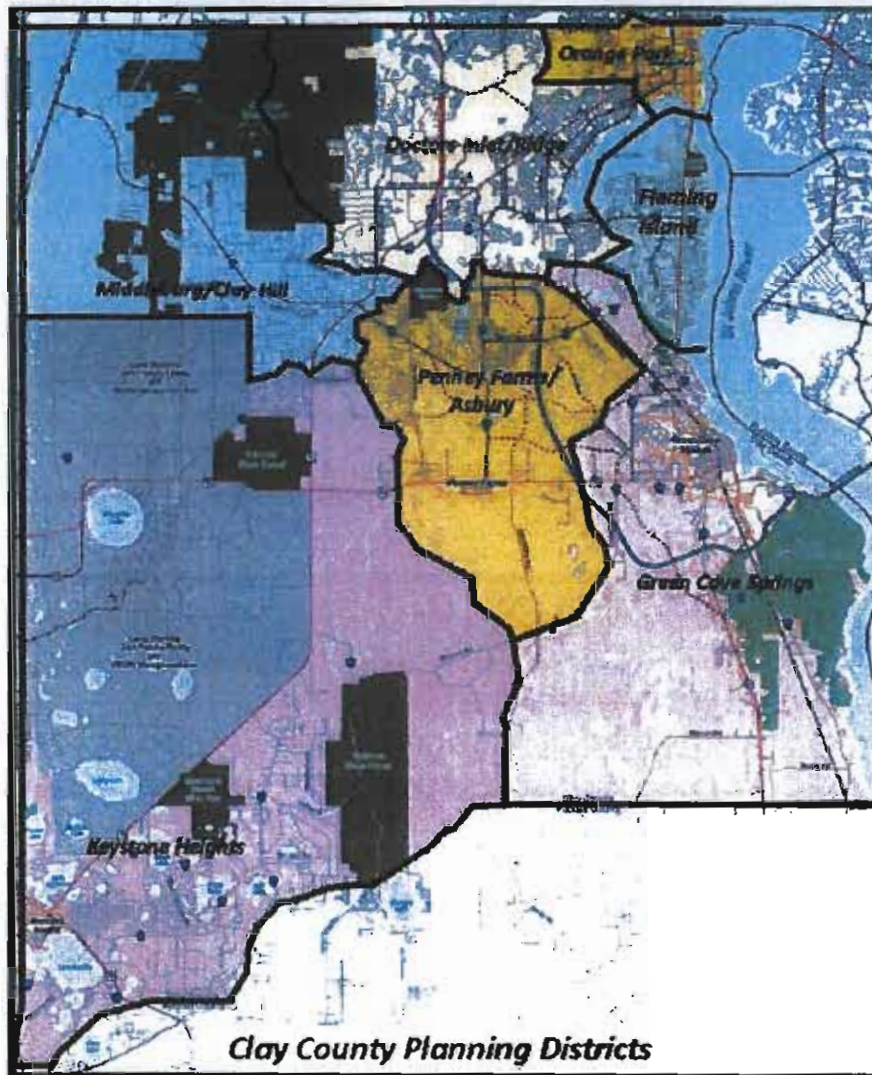
Planning District	Single-Family (1)	Multi-family (2)	Mobile Home (3)	Total
Orange Park	6,491	4,145	6	10,650
Doctors Inlet/Ridge	21,153	4,019	1,512	26,694
Fleming Island	9,941	2,497	132	12,570
Middleburg/Clay Hill	2,665	98	3,931	6,694
Penney Farms/Asbury	4,614	547	489	5,650
Green Cove Springs	4,349	748	1,133	6,210
Keystone Heights	4,823	261	2,895	7,979
TOTAL	54,046	12,303	10,098	76,447

(1). Detached homes.

(2). Residential buildings with two or more units.

(3). Includes a small number of boats and unspecified residential structures.

Sources: www.usa.com (2010 Census data); URBANOMICS, Inc.



This report focuses on housing needs, demand, and opportunities in the Green Cove Springs district and adjacent Penney Farms/Asbury district. In 2010, these two districts accounted for a modest 15.5 percent combined share of all housing units in the County, including 8.1 percent of the County total in the Green Cove Springs district and 7.4 percent in the Penney Farms/Asbury district.

In contrast to the 71-16-13 percent (single family-multifamily-mobile home) mix of housing types countywide in 2010, the mix was 70-12-18 percent in the Green Cove Springs district and 81-10-9 in the Penney Farms/Asbury district. As development in these two districts continues in the future, as projected, and they become more suburban, the mix of housing types is very likely to become more like that in the Doctors Inlet/Ridge and Fleming Island districts, which in 2010 had a combined 79-17-4 percent housing mix of single-family, multi-family, and mobile homes.

Housing and Household Characteristics

Housing and household characteristics detailed by Census Tract in the 2010 Census include housing vacancy rate, average household size (i.e., number of persons per household), and the percentage of owner-occupied households. Census Tract data grouped by Planning District for these factors, plus the numbers of housing units and households, are presented in Table 2. **Note:** Numbers of housing units in Table 2 do not match those in Table 1 above, as two different online sources of Census Tract data were used. These differences, however, have little or no effect on the housing and household characteristics analyzed in this subsection.

Housing Vacancy Rate. A countywide housing vacancy rate in 2010 of 8.9 percent occurred during the depth of the national economic downturn that began in 2008 and has long since come back. The Green Cove Springs district had the second highest vacancy rate (10.8 percent) at that time, but has long since dropped into single digits. The Keystone Heights district had the highest vacancy rate (15.6 percent) in 2010. However, 40 percent of vacant units in this district were classified as seasonal, indicating that the vacancy rate for year-round units would have been much lower. Only 10 percent of vacant units in the Green Cove Springs district were seasonal.

Table 2. Selected Housing Characteristics by County Planning District, 2010

Planning District	Number of Housing Units	Vacancy Rate (%)	Number of Households	Persons Per Household	Occupied by Owner (%)
Orange Park	10,361	9.2	9,657	2.45	58.0
Doctors Inlet/Ridge	26,041	8.0	23,956	2.90	78.3
Fleming Island	12,401	5.9	11,674	2.77	80.1
Middleburg/Clay Hill	6,895	8.3	6,121	2.90	86.0
Penney Farms/Asbury	5,493	7.8	5,066	2.82	80.6
<i>Green Cove Springs</i>	<i>5,937</i>	<i>10.8</i>	<i>5,297</i>	<i>2.59</i>	<i>71.7</i>
Keystone Heights	8,080	15.6	6,821	2.62	83.6
TOTAL	75,478	8.9	68,592	2.76	76.6

Source: usboundary.com (2010 Census Data); URBANOMICS, Inc.

Average Household Size. The countywide average household size in 2010 was 2.76 persons. This average varied widely among districts, from a low of 2.45 in the Orange Park district to highs of 2.90 in the Doctors Inlet/Ridge and Middleburg/Clay Hill districts. Averages in the Green Cove Springs and Penney Farms/Asbury districts, respectively, were 2.59 and 2.82. **The Green Cove Springs district average household size will increase over time toward the county average as new residential development occurs, including the Governors Park development and D.R. Horton's proposed Ayrshire community.**

Home Ownership. The countywide homeownership rate in 2010 was 76.6 percent. Four of seven Planning Districts had ownership rates over 80 percent. The Orange Park district had the lowest rate (58.0 percent), largely because of its high percentage of rental apartments. The ownership rate in the Green Cove Springs district will increase over time from 71.7 percent in 2010 as planned and proposed residential communities develop and completion of the First Coast Outer Beltway draws new residents to this part of the county.

Household Income. Household income is central to determining the ability to purchase or rent housing and the marketable price of housing. In this regard, the estimated median household income in Clay County is 11 percent higher than that in Duval County (\$56,359) and 95 percent of that in Nassau County (\$66,106), but only 75 percent of that in St. Johns County (\$82,970).

Table 3. Household Income by Zip Code Area, 2020

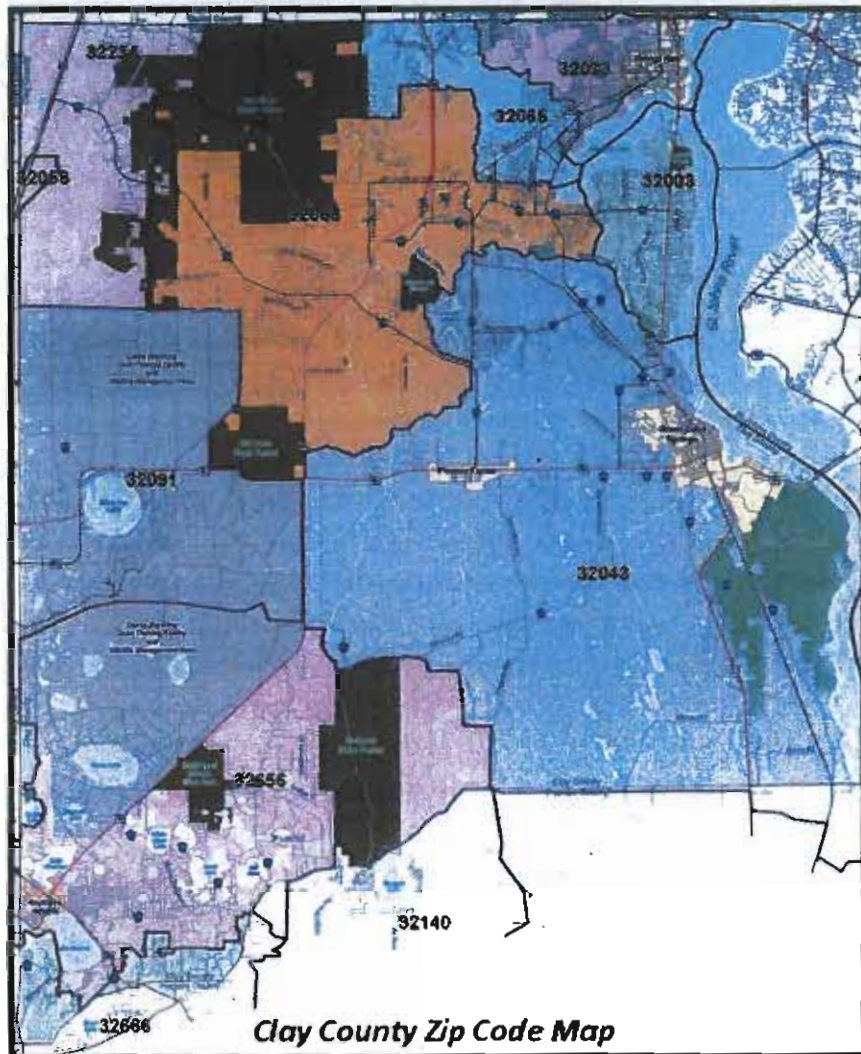
Zip Code	Median Household Income (\$)	Avg. Household Income (\$)
32073 - Orange Park	57,723	76,714
32065 - Orange Park	66,761	82,872
32003 - Fleming Island	90,172	110,261
32068 - Middleburg	59,697	76,560
32043 - Green Cove Springs	58,947	77,247
32656 - Keystone Heights	50,871	63,208
Clay County	62,545	81,079

Source: florida.hometownlocator.com; URBANOMICS, Inc.

Clay County Zip Codes with the highest median incomes have been the most active housing markets in recent years. These are Zip Code 32065, including the Oakleaf Plantation area with a median income of \$66,761, and Zip Code 32003, Fleming Island, with a median income of \$90,172.

The Penney Farms/Asbury district has become an area of significant market activity. This area is included mostly in Zip Code 32043, Green Cove Springs, and partly in Zip Code 32068, Middleburg. Both areas have median incomes slightly lower than the County average.

Median incomes in Zip Code 32043 are certain to rise in the future with continued residential development in the Lake Asbury area and development of Governors Park and other residential projects near Green Cove Springs. These will benefit from the construction and eventual completion of the First Coast Expressway link to I-95 in St. Johns County, just as the Oakleaf area benefits from its Expressway linkage to I-10 and employment centers in northern and western Duval County.



St. Johns County zip code areas directly across the river from Green Cove Springs, 32259 (St. Johns/Fruit Cove) and 32092 (St. Augustine/World Golf Village), have current median incomes approximately twice that of the Green Cove Springs zip code area. Median household income in 32259 is \$112,159 and 32092 is \$101,775. Current high average housing prices in Northwest St. Johns County are evidence of these high median incomes. **The Green Cove Springs area provides a lower housing cost alternative to Northwest St. Johns County, which is likely to become an attractive and marketable feature as the First Coast Expressway moves toward completion.**

HOUSING DEVELOPMENT TRENDS

Housing and Household Growth Trends

Clay County added an estimated 10,927 new housing units and 11,793 new households from 2010 to 2020, averaging 993 units and 1,072 households per year over the eleven-year period

(Table 4). Numbers of new households exceeded new housing units during this period due to the re-occupancy of many existing housing units that were vacant during the national economic downturn that began in 2008 and adversely affected the real estate market for several years.

Leading the way in terms of new housing units and new households added from 2010 to 2020 were Zip Codes 32068 and 32065, which added a combined 5,855 housing units and 6,217 households. These were followed by Zip Code 32043, Green Cove Springs, which added 1,774 housing units and 1,965 households, averaging 161 new housing units and 179 new households annually.

Table 4. Housing Unit and Household Growth Trends by Zip Code, 2010-2020

Zip Code Area	Housing Units			Households		
	2010	2020	Growth	2010	2020	Growth
32073 - Orange Park	16,219	17,312	1,093	14,871	16,105	1,234
32065 - Orange Park	12,339	15,184	2,845	11,166	14,177	3,011
32003 - Fleming Island	10,140	11,581	1,441	9,821	11,004	1,183
32068 - Middleburg	19,029	22,040	3,011	17,608	20,814	3,206
32043 - Green Cove Springs (1)	10,000	11,774	1,774	9,054	11,019	1,965
32656 - Keystone Heights	6,489	7,248	759	5,498	6,154	656
Other Zip Codes (2)	1,262	1,266	4	574	1,112	538
County	75,478	86,405	10,927	68,592	80,385	11,793

(1). Estimates include Zip Code 32079, Penney Farms

(2). Other Zip Code areas with partial overlaps in western and southern Clay County include 32666 (Melrose), 32234 (Baldwin), 32091 (Starke), and 32058 (Lawtey).

Source: unitedstateszipcodes.org (2010 Census); florida.hometownlocator.com (2020 ests.); URBANOMICS, Inc.

Totals in Table 4 include comparatively small numbers of housing units and households located in four rural zip code areas that partially overlap Clay County along its western and southwestern borders. The Melrose Zip Code 32666 (Putnam County) adjoins the Keystone Heights area and is the most developed of the four. The largest overlapping area is the Starke Zip Code 32091 (Bradford County), which includes a large section of Camp Blanding and the Kingsley Lake area in Clay County.

The northwestern corner of the County is overlapped by the sparsely populated Baldwin ZIP Code 32234 (Duval County) and a small undeveloped portion of the Lawtey Zip Code 32058 (Bradford County). These four zip code areas account for an estimated 2020 total of 1,266 housing units and 1,112 households in Clay County.

Residential Building Permit Trends

Countywide. Permits were issued for 7,856 new housing units countywide in the past ten years (2010-2019), including 7,255 single-family homes and 601 multi-family units (Table 4). Permits for all units have averaged over 1,000 per year for the past seven years, peaking in 2019 with 1,320 units permitted. Year 2000 is on pace through August to top 1,000 units, even in light of the COVID-19 pandemic, although it is likely to fall well short of 2019 peak by year end.

Single-family homes peaked in 2019 with 1,246 units permitted. The housing market has rebounded well after the national economic downturn that began in 2008. The low point was 2009, in which only 459 single-family homes were permitted. Single-family permits have averaged 1,015 annually since 2015. The high point in recent decades, however, was 2005 when 3,831 single-family homes were permitted.

Table 4. Building Permit Trends, Clay County and Green Cove Springs, 2010-2020

Year	Clay County			Green Cove Springs			Share of County (%)	
	SF	MF	Total	SF	MF	Total	SF	MF
2020, thru August	656	23	679	30	21	51	4.6	91.3
2019, thru August	801	0	801	108	0	108	13.5	0.0
2019	1,246	74	1,320	167	0	167	13.4	0.0
2018	900	0	900	107	0	107	11.9	0.0
2017	981	133	1,014	131	0	131	13.4	0.0
2016	1,046	144	1,190	144	0	144	13.8	0.0
2015	902	80	982	142	0	142	15.7	0.0
2014	813	102	915	47	0	47	5.8	0.0
2013	948	12	960	29	0	29	3.1	0.0
2012	669	26	695	13	0	13	1.9	0.0
2011	468	7	475	3	0	3	0.6	0.0
2010	528	23	551	13	0	13	2.5	0.0
Total, 2010-2019	7,255	601	7,856	796	21	817	11.0	3.5
Annual Averages								
2015-2019	1,015	86	1,101	138	0	138	13.6	0.0
2010-2014	685	34	719	21	0	21	3.1	0.0

SF – Single-family

MF – Multi-family

Source: US Dept. Housing and Urban Development, SCODC Building Permit Database; URBANOMICS, Inc.

Permits for new multi-family units vary significantly year-to-year. The recent peak period was 2014-2017, when 459 units were permitted, including a high of 144 units in 2016. Only 74 units were permitted in the last two years (2018-2019). The high point in recent decades was 2006, when 1,076 multi-family units were permitted.

Green Cove Springs. Interestingly if not surprisingly, permits for new single-family homes in the City of Green Cove Springs since 2010 account for 11.0 percent of the countywide total, including 13.6 percent of countywide permits since 2015. Permits for new single family homes in Green Cove Springs have averaged 138 annually since 2015, peaking in 2019 with 167 units permitted. On the other hand, no new multi-family units were permitted in the City in the last 10 years, although 21 new units have been permitted in 2020 through August.

Active Developments. Building permits issued for single-family homes in the Green Cove Springs zip code area (32043) are shown in Table 6 from 2105 to 2020 through October for seven active developments. Of these, Magnolia West is in the City. These seven active projects accounted for a 37.2 percent share of countywide single-family housing permits in 2019. **These and many other planned and proposed residential developments will continue and expand the Green Cove Springs area as Clay County’s emerging growth center.**

Table 6. Single Family Building Permits in Active Developments, 2015-2020

Development	2015	2016	2017	2018	2019	2020 (1)	TOTAL
Black Creek Village	---	---	---	25	40	13	78
Cross Creek	---	---	---	---	193	57	250
Edgewater Landing	---	12	27	28	38	36	141
Magnolia West	83	70	84	78	88	29	432
Rolling Hills	56	77	97	19	43	15	302
Royal Pointe	16	8	32	36	26	18	136
Traceland				3	36	42	83

(1). Through October

Source: Clay County building permit and property records; URBANOMICS, Inc.

HOUSING SALES TRENDS

Existing Homes

Sales of existing homes for five Clay County market areas, as defined by the Northeast Florida Association of Realtors (NEFAR), are shown in Table 7. These closed sales totals include mixes of existing single-family homes, condominiums, and townhomes and new construction homes that vary widely by county and market area in Northeast Florida. For example, the Clay County mix in 2019 consists of 12.0 percent new construction homes and 9.6 percent condos and

townhomes. The mix in the Green Cove Springs market area in 2019 consists of 29.8 percent new construction homes and only 0.9 percent condos and townhomes.

Despite widely different mixes of unit types among areas, the overall number of sales provide a gauge of market area trends and strength. The Green Cove Springs area has a growing share of all housing sales in Clay County, increasing nearly threefold from only 7.7 percent in 2015 to 19.4 percent in 2019 countywide sales.

Table 7. Existing Home Sales Trends by Market Area, 2015-2020

Market Area	2015	2016	2017	2018	2019	2020 (1)
12 – Fleming Island	595	631	677	618	612	511
13 – Orange Park	1,828	1,739	1,765	1,532	1,563	1,130
14 – Middleburg	984	1,003	962	970	1,115	806
15 – Keystone Heights	174	179	220	194	196	144
16 – Green Cove Springs	282	271	294	486	644	622
Total – Clay County	3,683	3,777	3,896	3,773	4,130	3,199

(1). Through September

Source: Northeast Florida Association of Realtors (NEFAR); URBANOMICS, Inc.

New Single-Family Homes

Number of Sales. An upward trend for the Green Cove Springs area (Zip Code 32043) is also shown in Table 8 for sales of new single-family homes, which increased from a 20.4 percent share of the countywide total in 2015 to a 44.1 percent share in 2020 through September. The number of new homes sold has more than doubled from 192 in 2015 to 401 in 2020 through September. Through September, 2020 is on pace to reach 535 single-family homes sold by year end, which would be nearly a threefold increase in the number of homes sold from 2015.

Table 8. New Single Family Home Sales, 2015-2020

Area	2015	2016	2017	2018	2019	2020 (1)
<i>Number of New Homes Sold</i>						
Green Cove Springs (32043)	192	257	294	234	321	401
Clay County	940	1,035	952	906	893	910
Percent of County Sales	20.4	24.8	30.9	25.8	36.0	44.1
<i>Average Price of New Homes Sold</i>						
Green Cove Springs	234,746	241,964	245,691	280,385	236,307	251,742
Clay County	240,446	246,595	258,577	286,840	266,875	278,849
Percent of County Average	97.6	98.1	95.0	97.7	88.5	90.3

(1). Through September

Source: Metro Market Trends; URBANOMICS, Inc.

Number of new single-family homes sold in six active developments in the Green Cove Springs area (Zip Code 32043) are shown in Table 9. These developments represent 83.8 percent of all new homes sold in 2019 and 89.3 percent of sales in 2020 through September. Magnolia West was the leader in 2019 with 124 of 321 sales (38.6 percent) in the zip code area. Cross Creek is the leader in 2020 with 157 of 401 sales (39.1 percent).

Table 9. Number of New Homes Sold, Selected Developments, 2015-2020

Development	2015	2016	2017	2018	2019	2020 (1)
Cross Creek	---	---	---	---	70	157
Edgewater Landing	---	---	14	21	28	40
Magnolia West	58	72	78	48	124	75
Rolling Hills	31	79	66	58	28	18
Royal Pointe	15	9	10	25	10	4
Traceland	---	---	---	---	9	64
Zip Code 32043	192	257	244	234	321	401

(1). Through September

Source: Metro Market Trends; URBANOMICS, Inc.

The price distribution of the 401 new homes sold in Zip Code 32043 in 2020 is shown in Table 10. The leading market segment is the \$200,000-\$225,000 price range with 32.7 percent of sales. This is followed by the \$225,000-\$250,000 segment with 18.2 percent of sales and the \$250,000-\$275,000 segment with 10.7 percent of sales. These segments total 61.6 percent of sales.

Table 10. New Single-Family Home Sales by Price Range, Zip Code 32043, 2020 (1)

Price Range	Number Sold	Percent of Total
Under \$175,000	16	4.0
\$175,000-\$200,000	34	8.5
\$200,000-\$225,000	131	32.7
\$225,000-\$250,000	73	18.2
\$250,000-\$275,000	43	10.7
\$275,000-\$300,000	21	5.2
\$300,000-\$325,000	30	7.5
\$325,000-\$350,000	21	5.2
\$350,000-\$400,000	28	7.0
Over \$400,000	4	1.0
TOTAL	401	100.0

(1). Through September

Source: Metro Market Trends; URBANOMICS, Inc.

3. Housing Demand/Market Needs

ECONOMIC AND POPULATION GROWTH

Demand and need for housing in an area is driven by the composition and growth of regional and local economies and by a range of demographic and economic factors, which in turn drive growth of the regional and local populations and household formation. These drivers include availability of and access to employment, availability and quality of community infrastructure and services, including educational and medical services, and various other quality of life factors.

Among the many factors that drive or affect economic, population, and household growth and resulting demand/need for housing in Clay County is the presence and eventual completion of the First Coast Expressway linking I-10 to the north in Jacksonville with I-95 to the east in St. Johns County, providing a western outer bypass around the urban center. Growth impacts of this outer bypass are already evident in the north central (Oakleaf) area of Clay County and are increasing rapidly in the central (Lake Asbury) and southeastern (Green Cove Springs) areas of the County.

This growth trend is recognized by population projections for the County and its seven Planning Districts presented in Table 5 of the Evaluation and Appraisal Report of the Clay County 2040 Comprehensive Plan. This report presents data and analyses supporting the Future Land Use Element of the Comprehensive Plan. Table 11 below presents the same 2020-2040 population projections for the County and its seven Planning Districts as are presented in Table 5 (pg. 52) of the Evaluation and Appraisal Report.

Table 11. Population Estimates and Projections by Planning District, 2010-2040

Planning District	2010	Projected				
		2020	2025	2030	2035	2040
Middleburg/Clay Hill	18,888	19,216	19,054	18,793	18,611	18,502
Doctors Inlet/Ridgewood	73,900	87,894	94,105	94,095	98,807	104,016
Orange Park	25,069	26,154	27,067	27,608	28,106	28,659
Fleming Island	27,126	28,644	29,275	28,831	28,535	28,424
<i>Green Cove Springs</i>	<i>14,318</i>	<i>18,419</i>	<i>21,775</i>	<i>32,105</i>	<i>38,881</i>	<i>44,950</i>
<i>Penney Farms/Asbury</i>	<i>14,183</i>	<i>24,899</i>	<i>34,365</i>	<i>42,032</i>	<i>46,981</i>	<i>50,584</i>
Keystone Heights	17,381	18,174	18,558	18,635	18,780	18,963
TOTAL	190,865	223,400	244,200	262,100	278,700	294,100

Source: Clay County 2040 Comprehensive Plan, Evaluation and Appraisal Report; URBANOMICS, Inc.

Several noteworthy inferences can be drawn from these projections:

- The Clay County population is projected to increase by 70,700 persons from 2020 to 2040.
- The population of the Green Cove Springs Planning District is projected to increase by 26,531 from 2020 to 2040, which is 37.5 percent of countywide population growth.
- The population of the adjacent Penney Farms/Asbury Planning District is projected to increase by 25,685 from 2020 to 2040, which is 36.3 percent of countywide population growth.
- Projected 2020-2040 population growth in the two Planning Districts together represents nearly three-fourths (73.8 percent) of countywide growth over the next 20 years.
- Growth projections for the greater Green Cove Springs area reflect an abundance of open, developable land and the expected influence and economic impact of progress toward completion of the First Coast Expressway through the local area and across the St. Johns River to I-95 in St. Johns County over the next ten years and its continuing economic impact in the years beyond.

HOUSING DEMAND/MARKET NEEDS

Green Cove Springs Planning District

Estimates and projections of demand/needs for new housing units in this Planning District are derived from the numbers of new households generated by projected population growth of 26,531 new residents from 2020 to 2040. This population growth will generate a projected 9,906 new households by 2040, as shown in Table 12. A Planning District map is included on page 18.

Projected growth of the number of households is based on the average size of households in the District. It is assumed that average household size will increase over time from 2.59 persons, as determined in the 2010 Census, toward the countywide average of 2.76 persons per household. Assumed increased household sizes are shown in Table 12.

Numbers of housing units needed to accommodate new households are determined by applying a vacancy factor to account for vacant or unoccupied housing units that are for sale, for rent, or are vacant for other reasons. The 2010 reported a high 10.8 percent vacancy rate for the Green Cove Springs Planning District, which was at or near its low point during the collapse on the national real estate market. The vacancy rate is expected to improve over time to a more normal 8.0 percent by 2040.

Table 12. Projected Households and Housing Demand/Needs, 2020-2040

Area and Parameter	2020 to 2025	2025 to 2030	2030 to 2035	2035 to 2040	Total 2020-2040
<i>Green Cove Springs Planning District</i>					
Population Growth (Table 11)	3,356	10,330	6,776	6,069	26,531
Population in Households (1)	3,322	10,227	6,708	6,008	26,265
Population Per Household (2)	2.62	2.64	2.66	2.68	---
New Households Added	1,268	3,874	2,522	2,242	9,906
Housing Vacancy Rate (%) (3)	9.50	9.00	8.50	8.00	---
Housing Demand/Needs	1,401	4,257	2,756	2,437	10,851
<i>Penney Farms/Asbury Planning District</i>					
Population Growth (Table 11)	9,466	7,667	4,949	3,603	25,685
Population in Households (1)	9,371	7,590	4,900	3,567	24,428
Population Per Household (4)	2.82	2.82	2.82	2.82	---
New Households Added	3,323	2,691	1,738	1,264	9,016
Housing Vacancy Rate (%) (5)	7.50	7.40	7.30	7.20	---
Housing Demand/Needs	3,592	2,906	1,875	1,362	9,735
<i>Total-- Both Planning Districts</i>					
Housing Demand/Needs	4,993	7,163	4,631	3,799	20,586

(1). Population in households assumed to be 99.0 percent of total population; remainder lives in group quarters.

(2). Average household size assumed to increase over time from 2.59 in 2010.

(3). Vacancy rate is assumed to decline over time from 10.8 percent in 2010.

(4). Average household size assumed to remain the same at 2.82 in 2010.

(5). Vacancy rate is assumed to decline slightly over time from 7.70 percent in 2010.

Source: URBANOMICS, Inc.

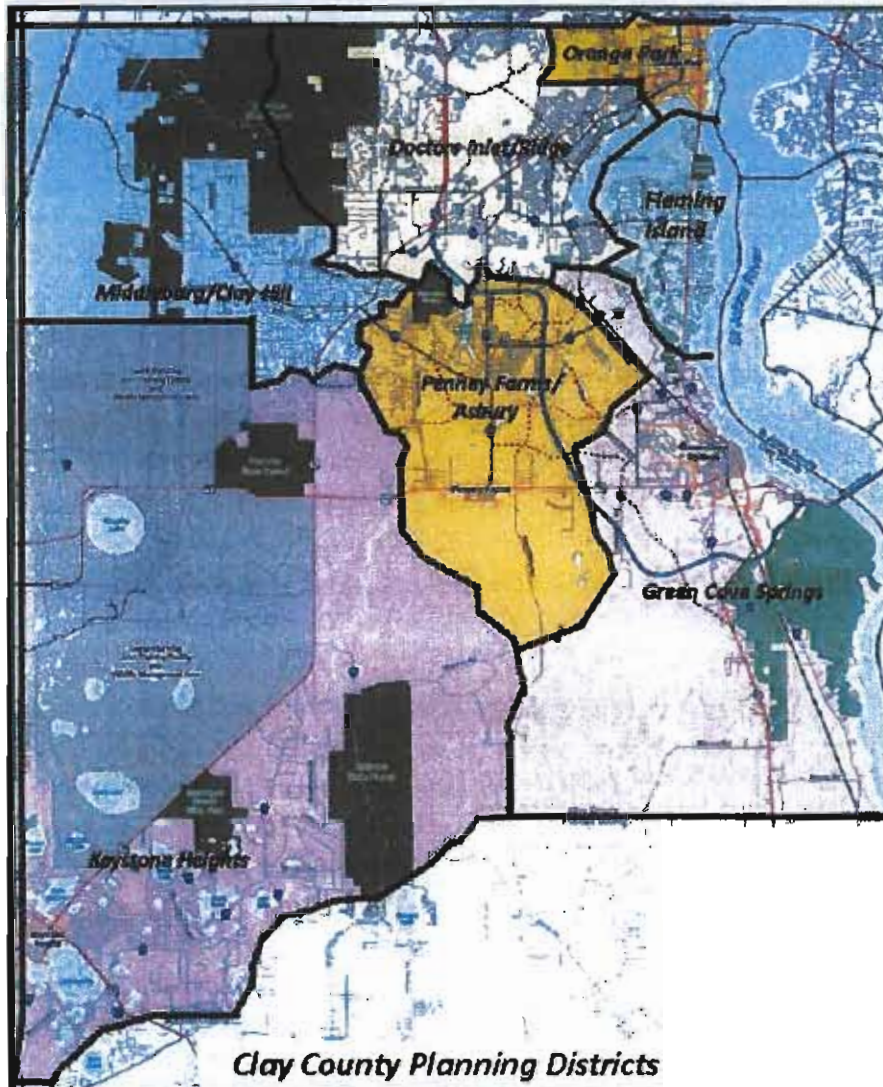
The number of new housing units needed from 2020 to 2040 to accommodate a projected 9,906 new households in the Green Cove Springs Planning District is 10,851, as shown in Table 12.

Penney Farms/Asbury Planning District

Demand/needs for new housing from 2020 to 2040 are similarly analyzed and projected for the Penney Farms/Asbury Planning District, inasmuch as a major portion of the District shares the Green Cove Springs Zip Code 32043.

The District population is projected to grow by 25,685 new residents from 2020 to 2040, which will generate 9,016 new households over the next 20 years. This is based on the assumption that average household size will continue at its 2010 Census average of 2.82 persons per household, which is higher than the countywide average. This District tends to attract larger families with children of school age.

This District also has a comparatively low housing vacancy rate that is expected to trend slightly lower over time from the 7.7 percent reported in the 2010 Census. The projected number of new housing units needed to accommodate 9,016 new households in this District from 2020 to 2040 is 9,735, as shown in Table 12 above.



IMPLICATIONS FOR D.R. HORTON'S AYRSHIRE COMMUNITY

The Governors Park DRI and part of the Saratoga Springs DRI are located in the Green Cove Springs Planning District. Governors Park has a planned total of 6,294 housing units, and is likely to take 20 or more years to be fully built out. The majority of Saratoga Springs is in the Penney Farms/Asbury Planning District. That portion in the Green Cove Springs Planning District (approximately 30 percent) would accommodate an estimated 1,276 of a planned total

of 4,256 housing at full buildout. The project has been dormant during the 14 years since its approval in 2006, and its future development is unclear at this time. On the assumption that both Governors Park and Saratoga Springs can reach full buildout by 2040, they would account for a combined total of 7,570 housing units, compared to a projected demand/need for 10,851 housing units in the Green Cove Springs Planning District by 2040.

In addition, there are several, much smaller residential projects in development and proposed in the Green Cove Springs Planning District, including Magnolia West (Phases 3 & 4), Edgewater Landing, Traceland, Black River Village, and Willow Springs. Altogether, these projects may have as many as another 500 un-permitted and un-built units. Approved, planned, and proposed residential developments in Green Cove Springs Zip Code 32043 are listed in Table 13 below and shown in the accompanying map on page 20. This zip code area includes all of the Green Cove Springs Planning District and a most of the Penney Farms/Asbury Planning District.

Table 13. Significant Active, Planned, and Proposed Developments, Zip Code 32043

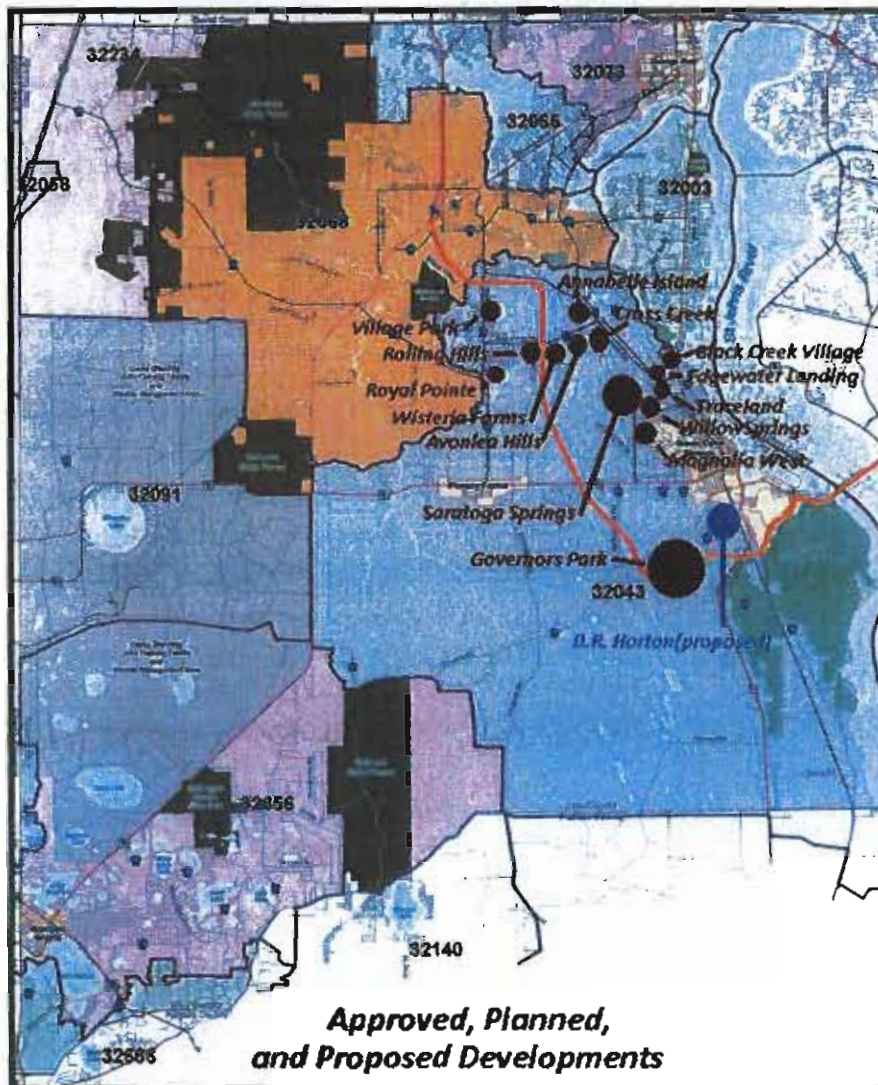
Development	Housing Units	Status
<i>Penney Farms/Asbury Planning District</i>		
Saratoga Springs DRI (part)	2,980	Approved; undeveloped
Cross Creek	998	Developing
Wisteria Farms	847	Proposed
Annabelle Island	773	Proposed
Avonlea Hills	754	Proposed
Reinhold North	725	Proposed
Village Park	648	Developing
<i>Green Cove Springs Planning District</i>		
Governors Park DRI	6,294	Approved; undeveloped
Saratoga Springs DRI (part)	1,276	Approved; undeveloped
Willow Springs	379	Proposed
Magnolia West, Phases 3 & 4	194	Developing
Edgewater Landing	171	Developing
Traceland	107	Developing

Source: Various local reports; URBANOMICS, Inc.

D.R. Horton’s proposed Ayrshire community would add a maximum of 2,750 new housing units, and would raise the number of potential new housing units in the Green Cove Springs Planning District to a total of 10,820, if and when all are fully built out. This total of potential new units is slightly less than the projected and potentially conservative demand/need for 10,851 housing

units in the District by 2040. The proposed Ayrshire community fits within projected 2020-2040 housing demand/needs in Green Cove Springs Planning District and helps fulfill these needs.

This projected level of housing demand/needs is viewed as potentially conservative because of the conservative nature of county population projections made by the University of Florida's Bureau of Economic and Business Research (BEBR). Population projections in the 2040 County Comprehensive Plan's Evaluation and Appraisal Report are based in part on BEBR projections and may not fully reflect the potential impact of the completion of the First Coast Expressway on future housing demand in the County. It is entirely likely that the County, particularly the greater Green Cove Springs area, will experience a higher level of population and household growth and resultant housing demand/needs than indicated by existing County projections.





Clay County Utility Authority

3176 Old Jennings Road
Middleburg, Florida 32068-3907
Telephone (904) 272-5999
Facsimile (904) 213-2469

*Working together to
protect public health,
conserve our natural
resources, and create
long-term value for
our ratepayers.*

November 19, 2020

Mr. Robert S. Porter
D.R. Horton, Inc. - Jacksonville
4220 Race Track Road
St. Johns, Florida 32259

Re: Letter of Understanding, regarding availability of water, wastewater and reclaimed water service to the proposed Ayrshire Subdivision (2,750 Residential Lots), Parcel Number 38-06-26-016515-000-00, located in Green Cove Springs, Clay County, Florida.

Dear Mr. Porter:

Availability of water, wastewater and reclaimed water to the above-referenced development, will be contingent upon the following conditions; completion and acceptance of a water treatment plant and a wastewater treatment plant, to be located within the Governors Park DRI. The completion and acceptance of necessary off-site infrastructure to reach your proposed development and the Developer of the Ayrshire development adhering to the rules, regulations and requirements of the Clay County Utility Authority (CCUA). Additionally, the Developer will be required to enter into a Master Utility Service Agreement with CCUA, which will define all provisions of service to this development.

CCUA will be able to serve this property with water, wastewater and reclaimed water service and will design the water plant and wastewater treatment plant to adequately accommodate the Ayrshire development and future developments as they arise.

Please feel free to contact me, at (904) 213-2410, or via e-mail at drawlins@clayutility.org, if you have any questions or require any additional information.

Sincerely,
CLAY COUNTY UTILITY AUTHORITY

David Rawlins

David Rawlins
Service Availability Manager

JMC



42 Masters Drive St. Augustine, FL 32084
Tel: 904.540.1786
www.carterenv.com

January 12, 2021

BY EMAIL:

jrgislason@drhorton.com

John Gislason
Land Acquisition
D.R. Horton
4220 Race Track Road
St Johns, Florida, 32259

SUBJECT: Environmental Assessment Report
D.R. Horton - Ayrshire (CR 15A/Gustafson Parcel)
Green Cove Springs, Florida

Dear John,

Thank you for contacting Carter Environmental Services (CES). We appreciate the opportunity to be of service to you. The purpose of our work on the referenced property was to delineate the onsite wetlands as defined by both the Army Corps of Engineers and the St Johns River Water Management District. Additionally, CES was also tasked with performing a preliminary protected species assessment of the subject property.

I trust that this information will be helpful in your preliminary planning. Please call Ryan Carter or myself if you have any questions or need additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Jeff".

Dave Jeff
Senior Project Manager



1.0 CURRENT SITE CONDITIONS

The subject property (County Road 15A/Gustafson parcel) is approximately 881.17 acres in size. It is bound to the north by a parcel owned by Green Cove Springs which is composed of undeveloped uplands and wetlands, to the east by a CSX railway, to the south by the (future) First Coast Outer Expressway and to the west by County Road 15A. More specifically, the property is located within Section 38, Township 06 South, Range 26 East, Clay County, Florida. The Clay County parcel identification number is listed as: 38-06-26-016515-000-00.

Historically, the parcel was utilized as a dairy farm with many of the ponds and ditches acting as stormwater/wastewater treatment. However, the dairy is no longer in service and the site has remained unmanaged and has been allowed to go fallow. The lack of land management has resulted in dense vegetation growth in many portions of the site along with proliferation of many invasive exotic plants including but not limited to: coral ardisia (*Ardisia crenata*), camphor tree (*Cinnamomum camphora*), wild taro (*Dioscorea bulbifera*), cogongrass (*Imperata cylindrica*), Peruvian primrosewillow (*Ludwigia peruviana*), Brazilian pepper (*Schinus terebinthifolia*), tropical soda apple (*Solanum viarum*), Caesar's weed (*Urena lobata*) and Chinese tallow (*Sapium sebiferum*). Additionally, large drainage ditches placed prior to State/Federal wetland protection rules have resulted in the hydrologic drawdown and alteration of the groundwater table.

1.1 Wetlands

Pursuant to the current methodologies of the U.S. Army Corps of Engineers (ACOE), St. Johns River Water Management District (SJRWMD) and Florida Department of Environmental Protection (DEP), CES conducted a full wetland delineation of the subject parcel in 2020 (see Figure 3). Prior to our field work, our investigation included a Geographic Information System (GIS) review of the relevant maps for the area, including: the U.S.G.S. topographic sheet, the National Wetlands Inventory (NWI) map, the *Soil Survey of Clay County, Florida*, Digital Elevation Model and both current and historic aerial photographs (from 1953, 1970, 1984, 1999-current) of the project area.

Wetlands are defined by the state and federal government as “those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation that is typically adapted for life in saturated soil conditions.” Criteria that make up a jurisdictional wetland include hydrophytic vegetation (wetland plants), hydric soils, and evidence of hydrology. ACOE requires all three criteria while the state agencies (SJRWMD and DEP) require only two of the three criteria.

CES has delineated approximately 137.28 acres of wetlands and has aerielly interpreted



approximately 8.16 acres of wetlands (See Figure 3). In late 2020, CES requested a pre-application informal wetland review with SRJWMD. However, in late December the Florida Department of Environmental Protection (FDEP) assumed ACOE's Section 404 wetland permitting program. Following that assumption, all pre-application wetland reviews were postponed until such meetings could be coordinated via a joint FDEP/SRJWMD site visit. We are currently awaiting guidance from FDEP on how field reviews will be conducted. Once the site's wetland lines are reviewed/approved, the wetland flags will be ready for survey and incorporation into the engineering plans along with areas SRJWMD/FDEP and CES agree on via aerial interpretation. Aerially interpreted areas are either too vegetatively thick to delineate and/or too dangerous due to extremely steep side slopes.

Also, in late 2020 CES applied for an approved jurisdictional determination (AJD) with ACOE. CES believes the submitted AJD is pursuant to the new federal Navigable Waters Protection Rule. The AJD will clarify which onsite wetlands are and are not jurisdictional to ACOE and ultimately what type of ACOE permitting will be required (i.e. no permit required letter, Nationwide Permit, Individual Permit). Following the FDEP assumption of the ACOE's Section 404 program, the AJD was transferred to FDEP on January 9, 2021. CES is currently waiting for a FDEP reviewer to be assigned to process the AJD request.

1.2 Wetland Impact Considerations (SRJWMD)

Both SRJWMD and ACOE require applicants to demonstrate elimination and reduction of wetland impacts. However, for the State (SRJWMD), regionally significant mitigation (i.e. mitigation bank credits) offers a distinct advantage. Mitigation Banks meet the "out rule" as outlined in Section 10.2.1.2 (b) Applicant's Handbook Volume I which states:

The Agency will not require the applicant to implement practicable design modifications to reduce or eliminate impacts when:

- a) The ecological value of the functions provided by the area of wetland or other surface water to be adversely affected is low, based on a site specific analysis using factors in section 10.2.2.3, below, and the proposed mitigation will provide greater long term ecological value than the area of wetland or other surface water to be adversely affected, or*
- b) The applicant proposes mitigation that implements all or part of a plan that provides regional ecological value and that provides greater long term ecological value than the area of wetland or other*



1.3 Federal Wetland Impact Considerations

As mentioned above, the AJD and proposed impacts will dictate the extent of the required federal permitting (now implemented by FDEP). The project will either receive a "no permit required" letter, a Nationwide Permit or Individual Permit. Should the project require a wetland impacts, the follow discussion below will be applicable.

While projects with the District can meet the "out provision" of 10.2.1 Applicant's Handbook Volume I by purchasing mitigation bank credits or providing other mitigation which provides both regional significant value and greater term ecological value than the wetlands being impacted, the ACOE does not have such an "out provision".

With ACOE, avoidance and minimization of wetland impacts must be demonstrated in exhaustive detail. A project's wetland impacts must be thoroughly justified, unless the project can demonstrate a benefit to public health, safety or welfare. Examples of a public benefit would be a public roadway, homeless shelter, hospital, etc. Typically, the ACOE will allow activities such as wetland road crossings to reach usable uplands but will not allow lot fill for wetlands unless a pro forma is provided demonstrating wetland impacts are necessary to maintain a 10% return on the project. The 10% profit is the maximum that the Supreme Court has allowed for impacting wetlands for economic gain. At this time, CES is unsure if FDEP will be as stringent as ACOE in regards to wetland impact avoidance and minimization. However, we believe they will follow ACOE guidance and implement the Section 404 program nearly identical to ACOE.

1.4 Mitigation Costs

The project is situated within SJRWMD Drainage Basin 8. Currently, mitigation bank credits within this basin are almost all ratio only. By the time this project would be in need of mitigation, CES expects the UMAM mitigation banks to have obtained releases of UMAM credits. Both UMAM and ratio credits have been selling for \$100,000. Based on the general onsite wetland quality, CES estimates the cost per acre of wetland impact for UMAM credits will equate to \$70,000 per acre. However, if UMAM credits are not available, ratio credits will be more costly and could range from \$150,000-\$200,000 per acre of fill. The cost of the wetland mitigation can be reduced by placing a regulatory conservation easement over the remaining wetlands onsite. Once the wetland lines are approved and we receive a final site plan, CES will be able to better estimate the total cost of wetland mitigation.



1.5 Listed Species

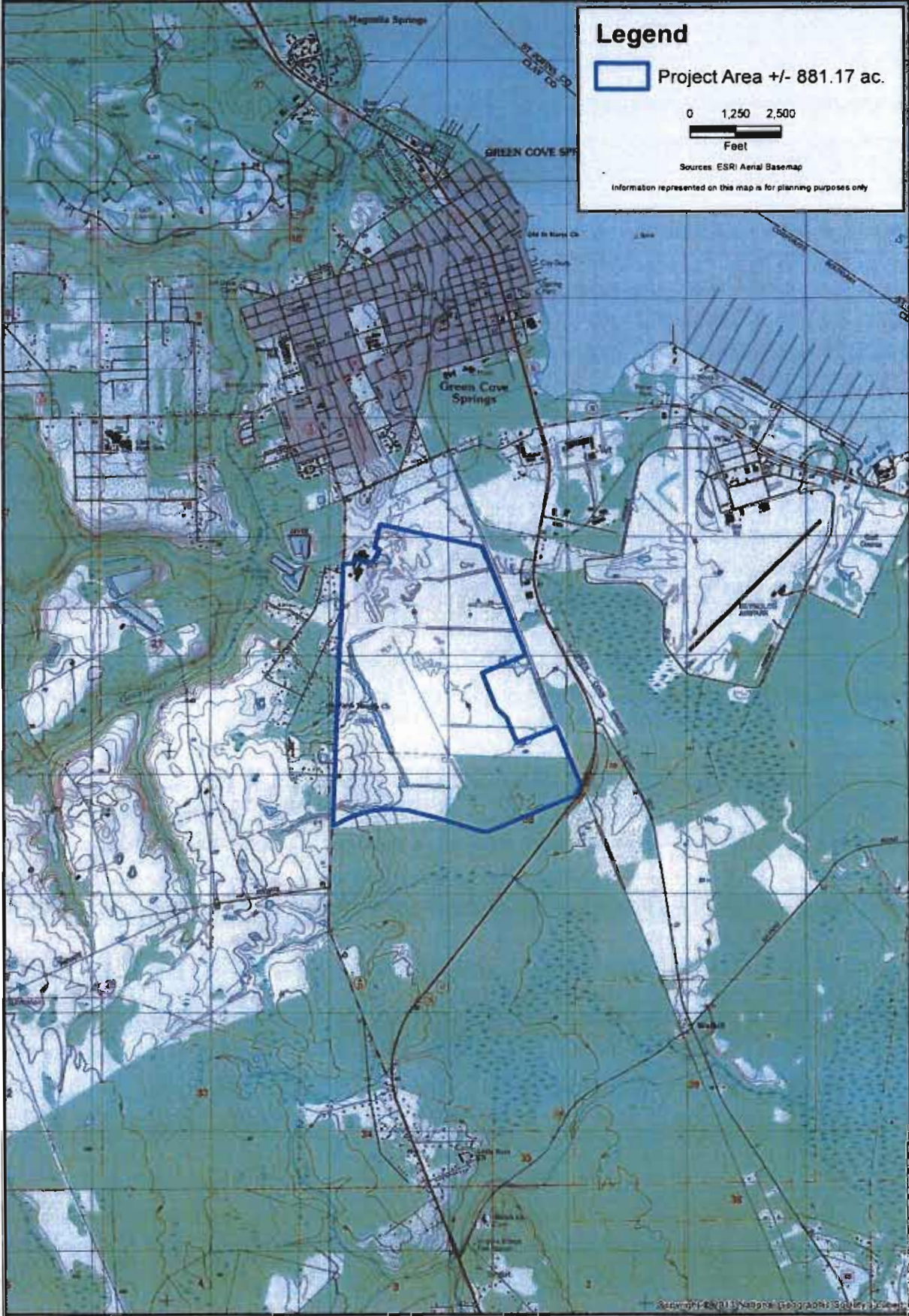
CES has conducted a limited pedestrian survey of the proposed project area to assess the presence of or potential utilization by any threatened, endangered, or species of special concern (SSC) as listed by the U.S. Fish and Wildlife Service (FWS) or the Florida Fish and Wildlife Conservation Commission (FWC). Prior to the site visit, CES compiled a list of potentially occurring species. The resources used to compile this list included a literature review of the soil units mapped on-site and both historic and current aerial photographs of the property.

CES located one (1) gopher tortoise (*Gopherus polyphemus*) burrow onsite. Prior to construction, a 100% survey will be required and the proper FWC gopher tortoise relocation permit will need to be obtained.

Utilizing the FWC Eagle Nest Locator Database, there are no active bald eagle (*Haliaeetus leucocephalus*) nests on record within a 1,500-foot radius of the property. One nest (CL009) is located south of the project boundary (south of the First Coast Outer Expressway). However, the nest has been listed as inactive since 1990. Therefore, there should be no regulatory concern for bald eagles on the subject property.

Lastly, CES has determined there are active wading bird rookeries within the large central pond. The pond will need to be surveyed during the spring nesting season to determine the full extent/usage and exactly which wading bird species are utilizing the site as a rookery. Following the spring survey, CES will be able to determine which FWC restrictions will be applicable. To date, CES has observed one (1) little blue heron rookery. During nesting season (March through August), a 330-foot buffer must be maintained around protected wading bird species rookeries. Outside of nesting season, the only restriction is no development (disturbance) can occur within 50-feet of the nest trees. The buffer areas are mostly contained within the large central pond area. Please refer to Figure 4 which depicts the presumed rookery areas and their buffers. Again, more information will be presented following the full 2021 spring rookery assessment.

We trust that this information is helpful. Please contact us with any questions or concerns you may have.



CARTER ENVIRONMENTAL SERVICES, INC.
CES 42 Masters Drive
St. Augustine, FL 32084
904-540-1786
www.carterenv.com

Location Map
Gustafson CR15A
Clay County, Florida

Project:	5.20092
Date:	Oct 09 2020
Figure:	1



<p>CARTER ENVIRONMENTAL SERVICES, INC. CES 42 Masters Drive St. Augustine, FL 32084 904-540-1786 www.carterenv.com</p>	<p>Soils Map Gustafson CR15A Clay County, Florida</p>	<table border="1"><tr><td>Project:</td><td>5.20092</td></tr><tr><td>Date:</td><td>Oct 09 2020</td></tr><tr><td>Figure:</td><td>2</td></tr></table>	Project:	5.20092	Date:	Oct 09 2020	Figure:	2
Project:	5.20092							
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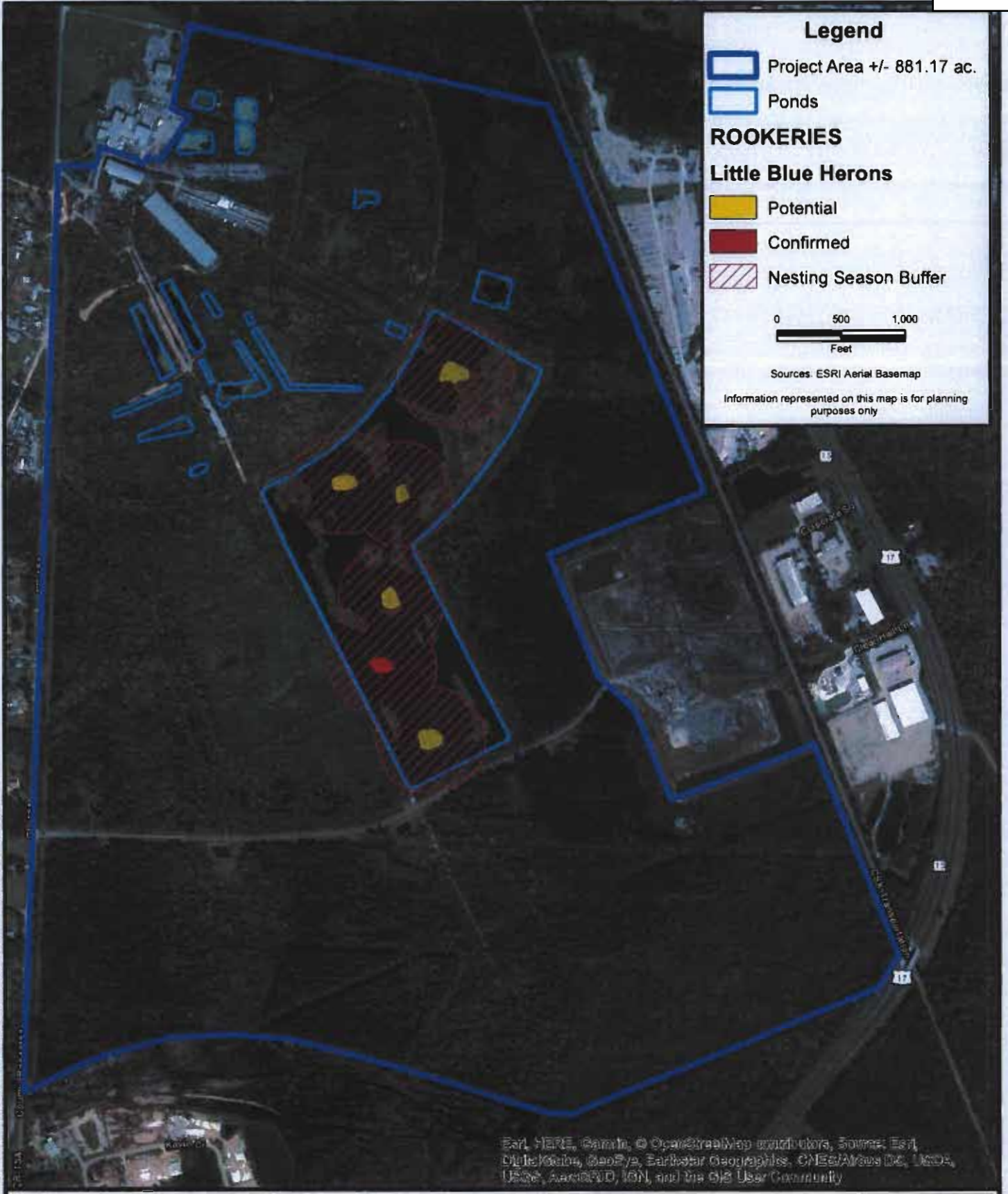
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Wetland Delineation Assessment Map
Gustafson CR15A
Clay County, Florida

Project: 5.20092

Date: Oct 23 2020

Figure: 3



Legend

- Project Area +/- 881.17 ac.
- Ponds

ROOKERIES

Little Blue Herons

- Potential
- Confirmed
- Nesting Season Buffer

0 500 1,000
 Feet

Sources: ESRI Aerial Basemap
 Information represented on this map is for planning purposes only

F:\CES Project\Project Files\Sub\Project Files\2020\6.20092 DR CR 15A\GIS\Map\DR CR 15A Wading Bird Rookeries.mxd

Map HERE, Garmin, © OpenStreetMap contributors, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

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Wading Bird Rookery Implications Map

DR CR 15A

Project: 5.20092	Clay County, FL	Date: Sep 21 2020
------------------	-----------------	-------------------

Figure:



Comments from City of Green Cove Springs Staff

1. Provide Concurrency application

Response: A concurrency application will be submitted with the operational traffic study that will include the study intersections, project access intersections and FDOT ICE Analysis.

2. Pursuant to our recent meetings regarding the development process, only the 565 acres north of Jersey Avenue should be included in the study and trip generation should only include residential development. The industrial trips will be analyzed separately.

Response: The revised traffic study now includes on the traffic from the proposed residential development only. As requested, a traffic study for the industrial development will be provided at a later date with a separate application.

3. The following Trip Distribution should be increased on the following roadways:

- a) 4.39% trips on Oakridge / CR 15 A
- b) 2.04% trips on SR 16
- c) 2.19% on Green Cove Avenue

From City staff's review there will be a much higher percentage of traffic that will use CR 15A as their primary ingress/egress which will create a higher percentage of traffic on all three of the above roadways.

Response: Traffic distribution has been revised to include about 11% of project traffic assigned to CR 15A/Oak Ridge Avenue. About 6.7% to the north and 4.32% to the south on CR 15A/Oak Ridge Avenue and 3.35% on Green Cove Avenue. It is anticipated about 230 units (11% of 2100 units) are anticipated to be built during Phase 01 of the proposed development on CR 15A/Oak Ridge Avenue.

4. Study Area

- a) Add Oakridge Avenue segments into the study area-Figure 05

Response: Oakridge Avenue segments have been added into Figure 05 (Segments with project traffic greater than 5%).

5. Existing Conditions Inventory

- a) Add Existing LOS, Current counts, background volumes, existing v/c ratio, FDOT group classifications shall be provided in the existing conditions inventory
- b) All City roads should have an adopted LOS of D.

Response: Existing Conditions inventory has been updated to include current counts, existing v/c ratio, FDOT group classifications. City roadways have been updated to include LOS D.

6. Identify traffic intersections

- a) The following intersection should be included in the analysis: Oakridge Avenue / Green Cove Avenue, Oakridge Avenue / SR 16

Response: An operational traffic study that will include the above intersections and the project

access intersections on US 17 and Oakridge Avenue will be submitted with the FDOT ICE analysis.

Comments from FDOT

- 7. The Ayrshire PUD traffic study indicates that the development will adversely impact the segment of US-17 from SR-16 West to SR-16 East. The study does not include any intersection analysis as required by the City's Traffic Impact Analysis guidelines.**

Response: An operational traffic study that will include the above intersections and the project access intersections on US 17 and Oakridge Avenue will be submitted with the FDOT ICE analysis.

- 8. The Ayrshire PUD traffic study indicates that the development will adversely impact the segment of US-17 from SR-16 West to SR-16 East.**

Response: The proposed development is now anticipated to include no more than 2100 dwelling units. A revised analysis shows that the segment of US 17 from SR 16 West to SR 16 East is not anticipated to be adversely impacted. An operational traffic study that will include the above intersections and the project access intersections on US 17 and Oakridge Avenue will be submitted with the FDOT ICE analysis.

Comments from CHW/City of Green Cove Springs

- 1. Page 1 - The industrial land use should be included in the trip generation or a statement should be provided that a roadway segment LOS study will be prepared for the industrial land use as a separate application.**

Response: The revised traffic study now includes on the traffic from the proposed residential development only. As requested, a traffic study for the industrial development will be provided at a later date with a separate application.

- 2. Figure 3 - This figure shows a trip distribution of 51.37% along US 17 south of First Coast Expressway, however this percentage should be much lower since this segment is south of the proposed First Coast Highway.**

Response: Figure 03 has been revised to show lower trips distribution of 2.05% on the section of US 17 south of First Coast Expressway.

- 3. Figure 4 - This figure shows the trip distribution percentage of 51.37%, where it should show the project trip volumes. Please revise.**

Response: Figure 04 has been revised to show project traffic assignment.

- 4. Figure 3 - Shouldn't some of the trip distribution be applied to Shand's Bridge?**

Response: Figure 03 shows the project traffic distribution and assignment

- 5. Table 3 - From review of the CUBE model documents and the estimated trip distributions on First Coast Expressway, it appears that the trip distributions of the following three road segments should be adjusted:**

- **US 17 - SR 16 East to CR 209 – This segment, where the project will connect to US 17, should have the highest trip distribution of 51.37%.**
- **US 17 – CR 226 to CR 209 – It appears that this segment should have a lower trip distribution Since the segment is located south of the proposed First Coast Expressway, many of the trips would be diverted to the First Coast Expressway and not continue along this segment.**
- **US 17 – CR 226 to the Putnam County Line - It appears that this segment should have a lower trip distribution. Since the segment is located south of the proposed First Coast Expressway, many of the trips would be diverted to the First Coast Expressway and not continue along this segment.**

Response: The project traffic distributions have been revised as suggested. The section of US 17 – SR 16 East to CR 209 has been assigned a distribution of 44.31%. The section of US 17 – CR 209 to CR 226 has been revised to include the distribution of 3.98% after the trips are diverted to the proposed First Coast Expressway. The section of US 17 – CR 226 to Putnam County Line has been revised to show a lower trip distribution of 3.25%.

6. Table 4 - How were the MSVs for Oak Ridge Avenue determined?

Response: The MSVs for Oak Ridge Avenue were determined using the FDOT LOS Handbook Generalized Service Volume Tables.

7. Table 4 - How were the 2020 traffic volumes along Oak Ridge Avenue determined?

Response: Traffic volumes on Oak Ridge Avenue were determined by applying a growth rate of 2.0% to the year 2019 AADT obtained from the FDOT Traffic Counts Portal. The AADTs were converted to peak hour volumes by applying a K-factor of 0.09

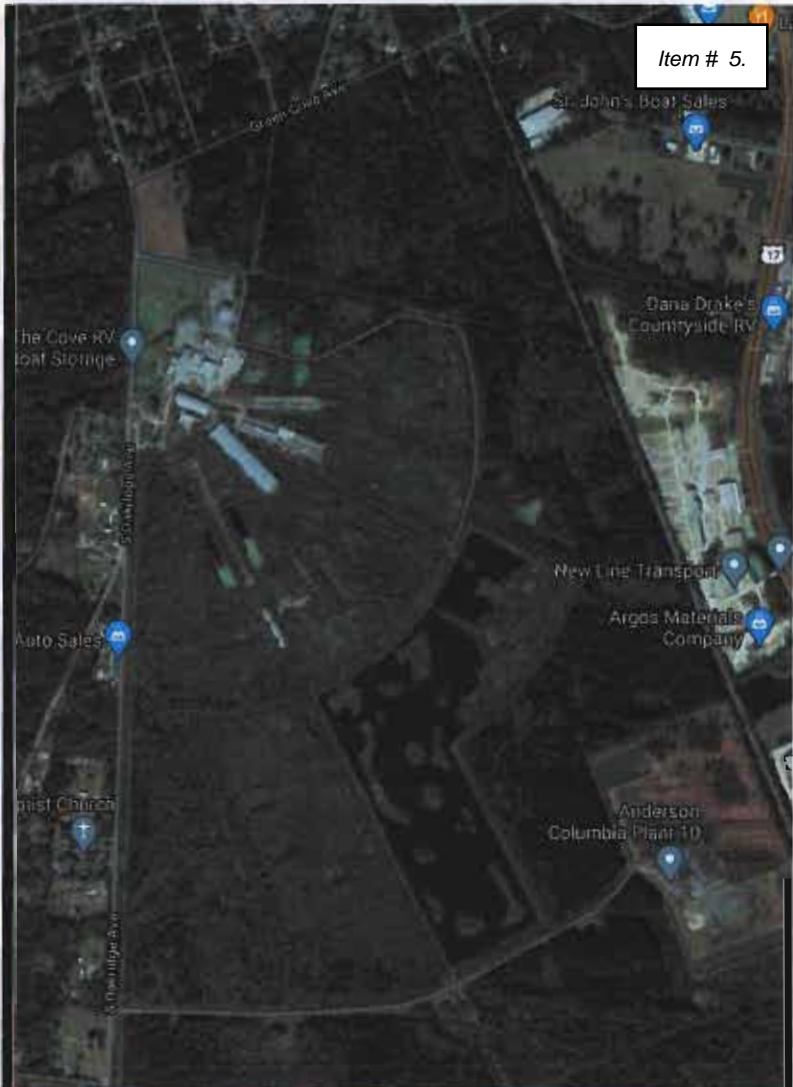
8. Attachment E - Why does the CUBE model trip distribution not add up 100% near the project site?

Response: Based on the traffic projections at the US 17 and the proposed First Coast Expressway obtained from the FDOT LOS Summary portal, an engineering judgement was applied to re-assign traffic on US 17 at the project access roadway and the First Coast Expressway segments. The model plots in the revised study show the above stated adjustments.

Prepared for:

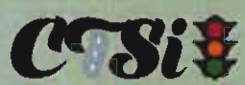


&



Ayrshire PUD
Comprehensive Plan
Amendment
Traffic Impact Study
City of Green Cove Springs, Florida

Prepared By:



Chindalur Traffic Solutions, Inc.
8833 Perimeter Park Boulevard, Suite 103
Jacksonville, FL 32216
904.619.3368 | www.ctrfficsolutions.com

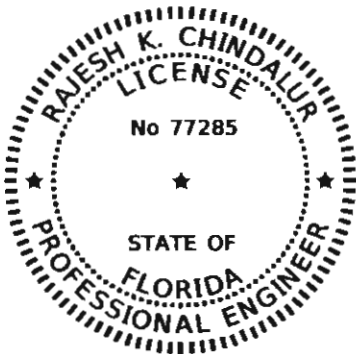
Project #: 1001-200-026
Date: Revised 03/19/2021

PROFESSIONAL ENGINEER CERTIFICATE

I, Rajesh Ramn K. Chindalur, PE #77285, certify that I currently hold an active license in the state of Florida and am competent through education or experience to provide engineering services in the civil discipline contained in this plan, print, specification, or report.

PROJECT:	Ayrshire PUD – CPA Traffic Study
LOCATION:	City of Green Cove Springs, Florida
CLIENT:	DR. Horton, Inc.

I further certify that this plan, print, specification, or report was prepared by me or under my responsible charge as defined in Chapter 61G15-18.001 F.A.C. Moreover, if offered by a corporation, partnership, or through a fictitious name, I certify that the company offering the engineering services, Chindalur Traffic Solutions, Inc., 8833 Perimeter Park Boulevard, Suite 103, Jacksonville, Florida 32216, holds an active certificate of authorization #30806 to provide engineering service.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

**Rajesh Ramn K Chindalur
2021.03.19 16:43:02 -04'00'**

ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VIRIFIED ON ANY ELECTRONIC COPIES.

*CHINDALUR TRAFFIC SOLUTIONS, INC.
8833 PERIMETER PARK BOULEVARD, SUITE 103
JACKSONVILLE, FL 32216
CERTIFICATE OF AUTHORIZATION #30806
RAJESH RAMN K. CHINDALUR, P.E. NO. 77285*

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THIS DOCUMENT IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

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Introduction

This traffic impact study (TIS) was performed in support of the proposed Ayrshire/Application for Annexation and Large-Scale Comprehensive Plan Amendment. Our client, D.R. Horton, Inc. – Jacksonville, is the contract purchaser of approximately 889 acres owned by Gustafson’s Cattle, Inc. with Clay County Parcel Identification No. 38-06-26-016515-000-00.

The Property is located in unincorporated Clay County and has future land use designations of Rural Fringe and Industrial and zoning districts of Agricultural and Industrial. The Applicant desires to annex the Property (approximately 560 acres) into the City of Green Cove Springs and give the Property City future land use designations of Residential Medium Density. The applicant will file a companion application to rezone the Property to Planned Unit Development following the City Council’s transmittal of the Comprehensive Plan Amendment application to the State. The proposed development is anticipated to include a maximum of 2,100 residential single-family dwelling units. Access to the proposed development is anticipated to be provided via a roadway (bridge over the CSX railroad) connecting to US 17, via existing Jersey Avenue and an additional driveway on CR 15A (Oak Ridge Avenue).

Figure 01 shows the project location. A copy of the Generalized Site Plan (GSP) provided by Dunn and Associates, Inc. is included as **Attachment A**. The methodology used in this study is consistent with the methodology discussed with the City’s Planning and Zoning Director on October 29th, 2020.

Trip Generation

Trip generation for the proposed project was estimated using the equation provided in the *Trip Generation Manual*, 10th Edition published by Institute of Transportation Engineers (ITE). The proposed residential development is anticipated to generate a total of 17,115 Daily trips that include 1,496 AM peak hour trips and 1,889 PM peak hour trips. **Table 01** summarizes the Daily, AM peak and PM peak hour trip generation for the proposed residential development.

Study Area and Existing Conditions

As discussed with the City’s Planning and Zoning Director and the City of Green Cove Springs traffic study guidelines, the study area includes all the roadway segments that are anticipated to include project traffic of 5% of more of the roadway segment’s adopted level of service (LOS) standard maximum service volume (MSV). The existing conditions data for the study area roadway links was taken directly from the Clay County Roadway Characteristics Inventory spreadsheet, March, 2019 and FDOT D2 LOS Summary Reports. A copy of the *Clay County Roadway System Capacity Analysis Spreadsheet (Provided by Clay County Planning Department)*, is included in **Attachment B**. **Table 02** includes details of the roadway segments in Clay County. All the roadway segments IDs are shown in **Figure 02**. The maximum service volumes for the roadway segments were obtained from the *Clay County Roadway System Capacity Analysis Spreadsheet* and FDOT D2 LOS Summary Reports. The copies of the FDOT D2 LOS Summary Reports are included in **Attachment C**.

Planned and Programmed Improvements

All of the planned and programmed improvements within the transportation study area identified from the FDOT Five (5) year work program, FDOT Long Range Plan and Clay County

Capital Improvement Plan document were included in the model and the segment analysis. The following planned and programmed improvements were included in the analysis. Details of these projects are included in **Attachment D**.

- CR 218 (Middleburg): Cosmos Avenue to Pine Tree Lane (Widening 2.7 miles from 2 to 4 lanes)
- CR 209 (Lake Asbury): CR 315B to US 17 (Widening 0.8 miles from 2 to 4 lanes)
- CR 209 (Lake Asbury): Sandridge Road to CR 315B (Widening 2.6 miles from 2 to 3 lanes)
- Sandridge Road (Lake Asbury): Henley Road to CR 209 (Widening 3.75 miles from 2 to 3 lanes)
- CR 220: Baxley Road to Henley Road (Widening 1.6 miles from 2 to 4 lanes)
- First Coast Connector: US 17 to CR 315 (Widening 1.6 miles from 2 to 4 lanes)
- First Coast Connector (Green Cove Springs): First Coast Expressway to CR 315 (Construct 2.9 miles of 2-lane divided road)
- First Coast Expressway: I-10 to N. Of Argyle Forest Boulevard
- First Coast Expressway: N. of Argyle Forest Boulevard to Blanding Boulevard (SR 21)
- First Coast Expressway: Blanding Boulevard (SR 21) to North of SR 16
- First Coast Expressway: North of SR 16 to East of CR 209
- First Coast Expressway (New St. Johns River Bridge) : SR 16 to CR 16A (St. Johns County)
- First Coast Expressway (St. Johns County): CR 16A to I-95
- SR 21 (Blanding Boulevard): Allie Murray Road to Long Bay Road (CR 220A) (Widening from 4 to 6 lanes)
- SR 21 (Blanding Boulevard): CR 218 and Black Creek (Widening from 4 to 6 lanes)

Trip Distribution and Assignment

The interim year 2030 model set of the Northeast Regional Planning Activity Based Model (NERPM_AB3v1) travel demand forecasting model, provided by the North Florida Transportation Planning Organization (NFTPO), which was prepared as part of the TPO’s 2040 Long Range Transportation Plan update, was used to develop project traffic distribution for the proposed Ayrshire PUD project. Upon construction of the First Coast Expressway, a majority of the project traffic is anticipated to use the First Coast Expressway (to and from St. Johns County and Duval County). Additionally, about 11% of project traffic was assigned to Oak Ridge Boulevard as access to the Phase 01 development is anticipated to be provided via Oak Ridge Boulevard. Hence, this distribution was further adjusted based on the future FDOT projections on US 17 and First Coast Expressway in the vicinity of the proposed development. The future FDOT projections were obtained from the FDOT traffic counts online portal. Following is a summary of the project traffic distribution percentages in the vicinity of the proposed development.

- Oak Ridge Avenue – SR 16 to Project Entrance: 6.7%
- Oak Ridge Avenue – Project Entrance to US 17: 4.32%
- US 17 – Project Entrance to First Coast Expressway: 48.63%
- US 17 – SR 16 East to Project Entrance: 40.35%

Table 03 shows the adjusted project traffic distribution on the roadway segments in Clay County. **Figure 03** shows the proposed project traffic distribution percentages on the roadway segments. **Attachment E** includes the travel demand model plots showing the project traffic distributions

(unadjusted distributions). **Figure 04** shows the project traffic assignment on the roadway segments in Clay County. **Attachment F** includes a figure depicting the adjusted project traffic distribution percentages in the vicinity of the proposed development.

Impacted Roadway Segments

As discussed with the City of Green Cove Springs’s Planning and Zoning Director on October 29th, 2020, a roadway segment is considered impacted if the project assigns traffic equal to or greater than 5% of the roadway segments adopted LOS standard maximum service volume. Previously stated, **Table 03** shows the roadway segments impact analysis. As shown in this table, the following roadway segments are anticipated to be impacted (with project traffic equal to or greater than 5% of the roadway segment’s adopted LOS maximum service volume). **Figure 05** shows the roadway segments on which project traffic is anticipated to be greater than 5% of the roadway segment’s maximum service volumes.

- US 17: Kingsley Ave. to Dr. Inlet Bridge
- US 17: Dr. Inlet Bridge to Raggedy Point Dr.
- US 17: Raggedy Point Dr. to CR 220
- US 17: CR 220 to Water Oak Lane
- US 17: Water Oak Lane to Black Creek Bridge
- US 17: Black Creek Bridge to CR 209
- US 17: CR 209 to Green Cove Springs
- US 17: Green Cove Springs to SR 16 West
- US 17: SR 16 East to SR 16 West
- US 17: SR 16 East to CR 209 (First Coast Expressway)
- First Coast Expressway: US 17 to St. Johns County Line
- Oak Ridge Avenue: SR 16 to Green Cove Avenue
- Oak Ridge Avenue: Green Cove Avenue to Project Entrance
- Oak Ridge Avenue: Project Entrance to US 17
- Green Cove Avenue: US 17 to Oak Ridge Avenue

Year 2030 Background Conditions Projections

The year 2030 Future conditions traffic volumes for the above stated impacted FDOT roadway segments were obtained from the FDOT D2 LOS Summary Reports (Included in previously stated **Attachment C**). Future conditions traffic volumes for Oak Ridge Avenue were estimated by applying a growth rate of 2% per year to the year 2020 existing traffic volumes.

Table 04 shows the year 2030 background traffic volumes on the impacted roadway segments. As shown in this table, the year 2030 background traffic volumes are anticipated to be greater than the roadway segment’s maximum service volume on the following segments.

- US 17: Wells Rd. to Kingsley Ave.
- US 17: Kingsley Ave. to Dr. Inlet Bridge
- US 17: Dr. Inlet Bridge to Raggedy Point Dr.
- US 17: Raggedy Point Dr. to CR 220

- US 17: Green Cove Springs to SR 16 West

Build-Out Conditions Roadway Segment Analysis

Build-Out Conditions traffic volumes include the year 2030 background conditions traffic volumes and the project traffic assignment. Previously stated **Table 04** shows the year 2030 build-out conditions roadway segment analysis. As shown in this table, the year 2030 build-out traffic volumes are anticipated to be greater than the roadway segment’s maximum service volume on the following segments.

- US 17: Wells Rd. to Kingsley Ave.
- US 17: Kingsley Ave. to Dr. Inlet Bridge
- US 17: Dr. Inlet Bridge to Raggedy Point Dr.
- US 17: Raggedy Point Dr. to CR 220
- US 17: Green Cove Springs to SR 16 West

However, it should be noted that all the adversely impacted roadway segments are anticipated to be deficient (peak hour traffic exceeds 100% of the maximum service volume of the adopted level of service standard) under background (no-build) traffic. Per Florida Statutes (FS) 163.3180 these roadway segments are considered deficient without the project traffic under review. None of the impacted roadway segments are anticipated to be adversely impacted due to the proposed development.

Project Related Proportionate Share

Project related proportionate share will be estimated only for the study area roadway segments that are anticipated to be adversely impacted by the traffic from the proposed development. Upon transmittal of the Comprehensive Plan Amendment application, the applicant will submit a Concurrency Application. The applicant will further comply with concurrency requirements as mandated by Section 163.3180, Florida Statutes, including any provisions of the Green Cove Springs Land Development Code consistent therewith to mitigate Ayrshire PUD Residential Development related transportation adverse impacts.

Intersection Capacity Analysis

Any required study intersection capacity analysis including access intersection capacity analysis and FDOT ICE Analysis for US 17 and Project Entrance will be provided as part of the Concurrency application submittal.

Summary and Conclusions

This traffic impact study (TIS) was performed in support of the proposed Ayrshire/Application for Annexation and Large-Scale Comprehensive Plan Amendment. The proposed development is anticipated to include a maximum of 2,100 residential units. Access to the proposed development is anticipated to be provided via a roadway (bridge over the CSX railroad) connecting to US 17, via existing Jersey Avenue and an additional driveway on CR 15A (Oak Ridge Avenue).

The Property is located in unincorporated Clay County and has future land use designations of Rural Fringe and Industrial and zoning districts of Agricultural and Industrial. The Applicant desires to annex the Property (approximately 560 acres) into the City of Green Cove Springs and give the Property City future land use designations of Residential Medium Density.

The proposed residential development is anticipated to generate a total of 17,115 Daily trips that include 1,496 AM peak hour trips and 1,889 PM peak hour trips.

The interim year 2030 model set of the Northeast Regional Planning Activity Based Model (NERPM_AB3v1) travel demand forecasting model, provided by the North Florida Transportation Planning Organization (NFTPO), which was prepared as part of the TPO's 2040 Long Range Transportation Plan update, was used to develop project traffic distribution for the proposed Ayrshire PUD project. Upon construction of the First Coast Expressway, a majority of the project traffic is anticipated to use the First Coast Expressway (to and from St. Johns County and Duval County). Hence, this distribution was further adjusted based on the future FDOT projections on US 17 and First Coast Expressway in the vicinity of the proposed development. The future FDOT projections were obtained from the FDOT traffic counts online portal. Following is a summary of the project traffic distribution percentages in the vicinity of the proposed development.

- Oak Ridge Avenue – SR 16 to Project Entrance: 6.7%
- Oak Ridge Avenue – Project Entrance to US 17: 4.32%
- US 17 – Project Entrance to First Coast Expressway: 48.63%
- US 17 – SR 16 East to Project Entrance: 40.35%

The following roadway segments are anticipated to be impacted (with project traffic equal to or greater than 5% of the roadway segment's adopted LOS maximum service volume).

- US 17: Kingsley Ave. to Dr. Inlet Bridge
- US 17: Dr. Inlet Bridge to Raggedy Point Dr.
- US 17: Raggedy Point Dr. to CR 220
- US 17: CR 220 to Water Oak Lane
- US 17: Water Oak Lane to Black Creek Bridge
- US 17: Black Creek Bridge to CR 209
- US 17: CR 209 to Green Cove Springs
- US 17: Green Cove Springs to SR 16 West

- US 17: SR 16 East to SR 16 West
- US 17: SR 16 East to CR 209 (First Coast Expressway)
- First Coast Expressway: US 17 to St. Johns County Line
- Oak Ridge Avenue: SR 16 to Green Cove Avenue
- Oak Ridge Avenue: Green Cove Avenue to Project Entrance
- Oak Ridge Avenue: Project Entrance to US 17
- Green Cove Avenue: US 17 to Oak Ridge Avenue

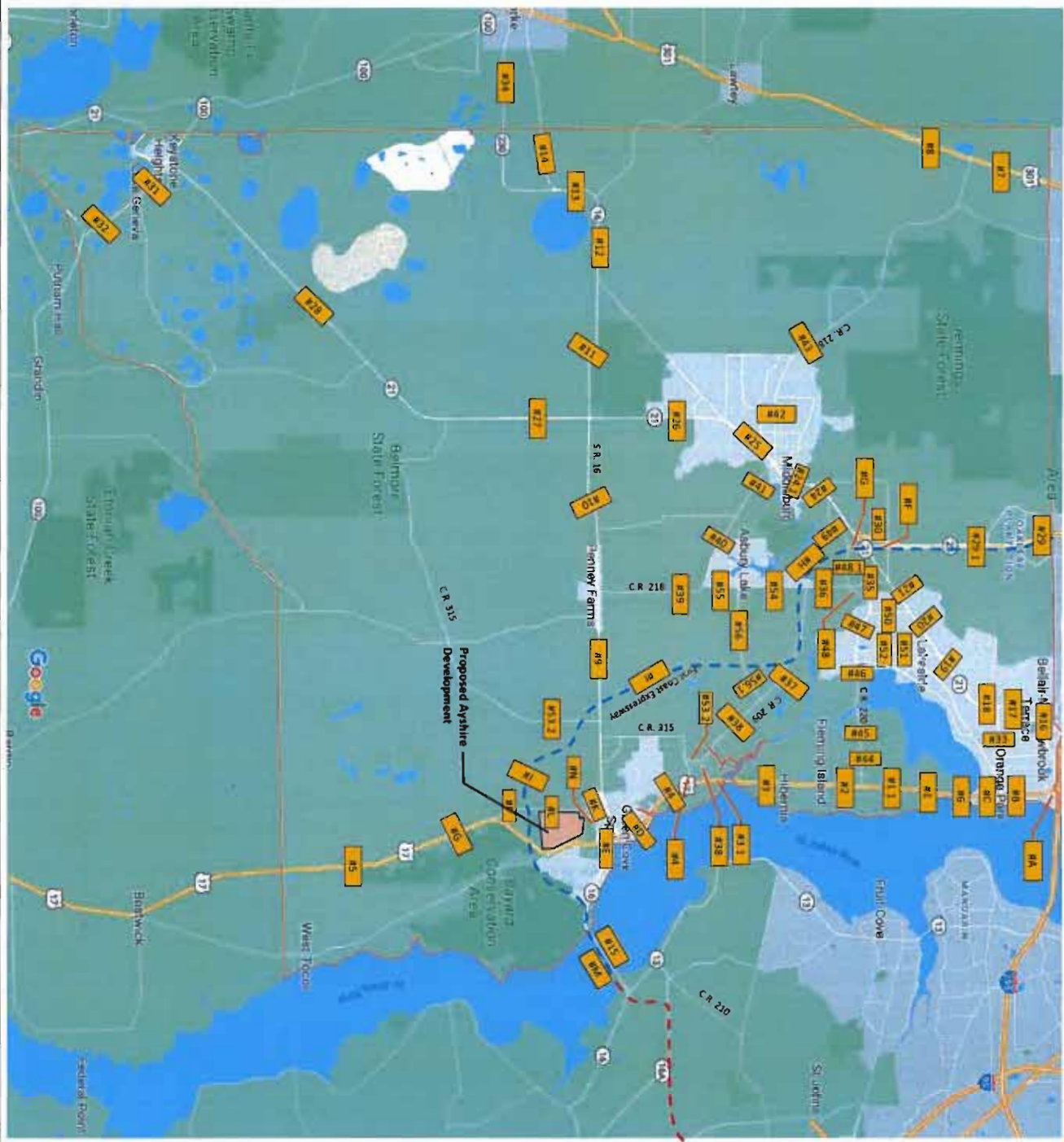
The year 2030 build-out traffic volumes are anticipated to be greater than the roadway segment's maximum service volume on the following segments.

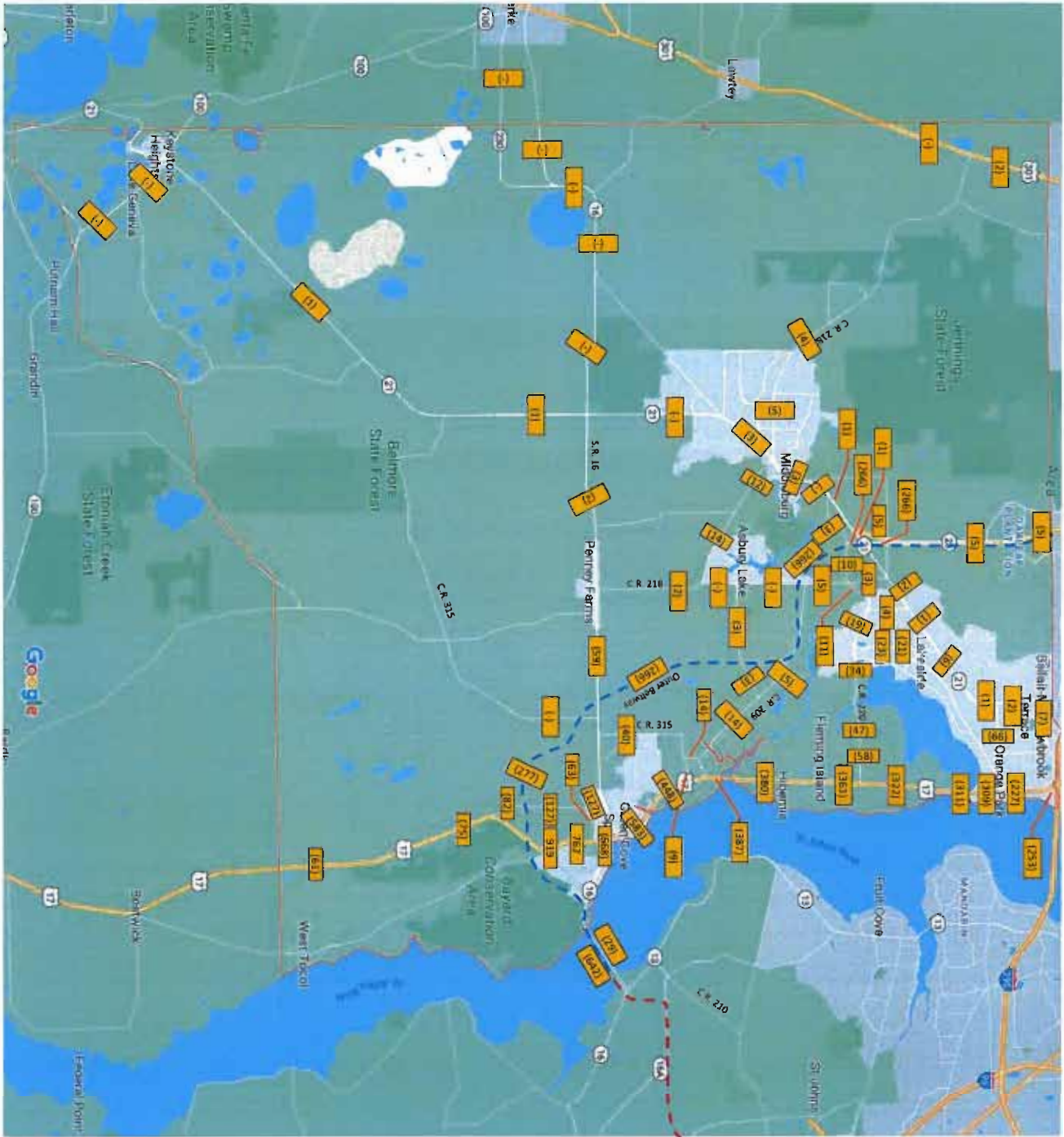
- US 17: Wells Rd. to Kingsley Ave.
- US 17: Kingsley Ave. to Dr. Inlet Bridge
- US 17: Dr. Inlet Bridge to Raggedy Point Dr.
- US 17: Raggedy Point Dr. to CR 220
- US 17: Green Cove Springs to SR 16 West

However, it should be noted that all the adversely impacted roadway segments are anticipated to be deficient (existing peak hour traffic exceeds 100% of the maximum service volume of the adopted level of service standard) under background (no-build) traffic conditions. Per Florida Statutes (FS) 163.3180 these roadway segments are considered deficient without the project traffic under review. The roadway segment of US 17 between SR 16 West and SR 16 East is the only roadway segment that is anticipated to be adversely impacted by the proposed development.

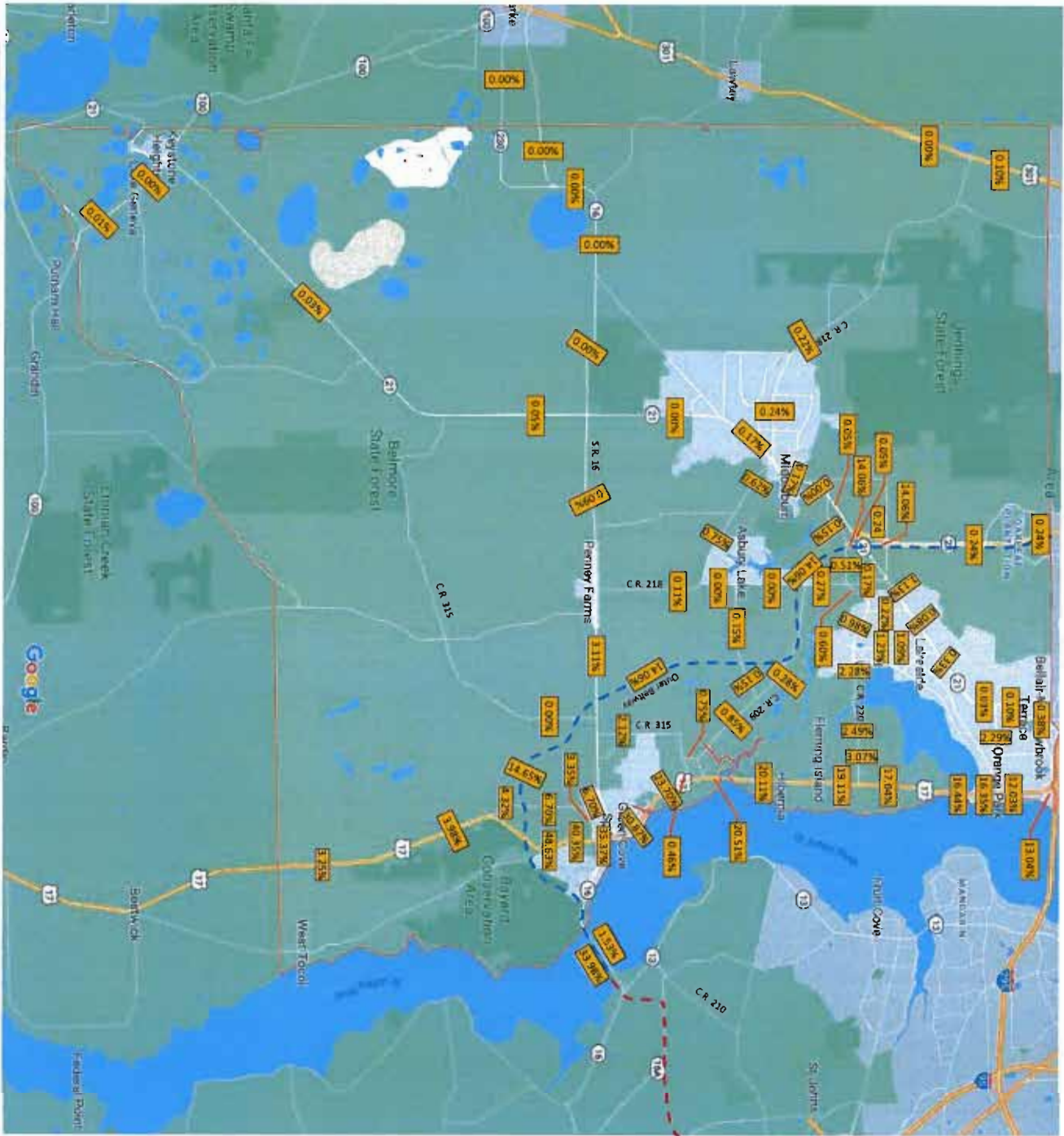
Project related proportionate share will be estimated only for the study area roadway segments that are anticipated to be adversely impacted by the traffic from the proposed development. Upon transmittal of the Comprehensive Plan Amendment application, the applicant will submit a Concurrency Application. The applicant will further comply with concurrency requirements as mandated by Section 163.3180, Florida Statutes, including any provisions of the Green Cove Springs Land Development Code consistent therewith to mitigate Ayrshire PUD Residential Development related transportation adverse impacts.







(123) - Project Traffic Assignment



0.11% - Project Traffic Distribution



— Project Traffic > 5% of Roadway MSV

Figure 05 – Roadway Segments Project Traffic Greater Than 5% of MSV

Table 01
Trip Generation
Ayrshire PUD CPA, City of Greencove Springs, FL

ITE Land Use Code	Description	Quantity	Units	Time Period	Rate Equation	Percent Trips		Project Trips		
						Entering	Exiting	Total	Entering	Exiting
210	Single Family Residential	2,100	Dus	Daily AM Peak PM Peak	$\ln(T) = 0.92 \ln(X) + 2.71$ $T = 0.71(X) + 4.80$ $\ln(T) = 0.96 \ln(X) + 0.20$	50%	50%	17,115	8,558	8,557
						25%	75%	1,496	374	1,122
						63%	37%	1,889	1,190	699

Source: Trip Generation Manual, Institute of Transportation Engineers (ITE), 10th Edition

Table D2
Roadway Characteristics Inventory
Ayrshire PUD, Clay County, Florida

Link No.	Roadway	Segment	Agency	Speed Limit	Adopted LOS	Adapted Peak Hour MSV	Length (Miles)	Lanes	Facility Type	Area Type	Source	2019 ADT Collected	2019 Peak Hour Volume	Existing Conditions V/C Ratio
A	US 17	Duval County Line to Wells Rd.	FDOT	45	0	8,411	0.37	8-DIV	Prin. Arterial	Urban	FOOT	12,803	7,759	92.25%
B	US 17	Wells Rd. to Kingsley Ave.	FDOT	40	0	5,390	1.35	6-DIV	Prin. Arterial	Urban	FOOT	29,152	6,060	112.93%
C	US 17	Kingsley Ave. to Dr. Inlet Bridge	FDOT	45	D	5,390	0.43	6-DIV	Prin. Arterial	Urban	FOOT	26,442	5,227	96.90%
1	US 17	Dr. Inlet Bridge to Raggedy Point Dr.	FDOT	50	D	5,390	1.70	6-DIV	Prin. Arterial	Urban	Clay County	13,533	4,886	86.54%
1.1	US 17	Raggedy Point Dr. to CR 220	FDOT	50	D	5,390	1.40	6-DIV	Prin. Arterial	Urban	Clay County	13,533	4,326	81.37%
2	US 17	CR 220 to Water Oak Lane	FDOT	45	D	8,840	2.18	6-DIV	Prin. Arterial	Urban	Clay County	13,533	3,198	38.44%
3	US 17	Water Oak Lane to Black Creek Bridge	FDOT	55	D	8,840	2.18	6-DIV	Prin. Arterial	Urban	Clay County	13,533	3,184	36.02%
3.1	US 17	Black Creek Bridge to CR 209	FDOT	55	D	5,900	0.80	4-DIV	Prin. Arterial	Urban	Clay County	13,533	3,342	56.64%
3.2	US 17	CR 209 to Green Cove Springs	FDOT	55	D	5,900	1.80	4-DIV	Prin. Arterial	Urban	Clay County	13,533	3,001	50.85%
D	US 17	Green Cove Springs to SR 16 West	FDOT	35	0	2,920	1.26	4-DIV	Prin. Arterial	Urban	FOOT	13,533	2,432	83.39%
E	US 17	SR 16 East to SR 16 West	FDOT	35	0	3,580	0.63	4-DIV	Prin. Arterial	Urban	FOOT	13,533	2,124	59.33%
F	US 17	SR 16 East to CR 209	FDOT	35	D	3,580	1.61	4-DIV	Prin. Arterial	Transition	FOOT	13,533	1,356	37.86%
G	US 17	CR 209 to CR 226	FDOT	55	0	3,580	3.18	4-DIV	Prin. Arterial	Transition	FOOT	13,533	963	26.90%
5	US 17	CR 226 to Putnam County Line	FDOT	60	B	4,468	10.20	4-DIV	Highway	Rural	Clay County	12,803	1,110	24.89%
7	US 301	Duval County Line to CR 218	FDOT	65	C	4,190	2.50	4-DIV	Highway	Rural	Clay County	26,442	2,091	49.00%
8	US 301	CR 218 to Bradford County Line	FDOT	65	B	3,220	3.10	4-DIV	Highway	Rural	Clay County	13,533	1,970	61.18%
9	SR 16	Green Cove Springs to Penny Farms	FDOT	55	D	1,550	5.00	2	Prin. Arterial	Urban	Clay County	13,533	1,196	77.16%
10	SR 16	Penny Farms to SR 21	FDOT	60	E	3,070	4.00	2	Highway	Transition	Clay County	8,010	721	23.40%
11	SR 16	SR 21 to CR 215	FDOT	45/55	D	5,600	4.70	4-DIV	Highway	Rural	Clay County	5,120	492	8.79%
12	SR 16	CR 215 to End of 4 lane	FDOT	65/55	D	5,600	1.10	4-DIV	Highway	Rural	Clay County	10,546	931	16.53%
13	SR 16	End of 4 lane to SR 230	FDOT	55	D	2,290	2.30	2	Highway	Rural	Clay County	8,654	752	32.86%
14	SR 16	SR 230 to Bradford County Line	FDOT	60	D	2,290	2.30	2	Highway	Rural	Clay County	19,694	490	21.40%
15	SR 16	Shands Bridge	FDOT	45	E	3,070	1.26	2	Highway	Transition	Clay County	1,862	1,862	60.65%
16	SR 21	Duval County Line to Wells Rd.	FDOT	45	E	5,130	0.19	6-DIV	Prin. Arterial	Urban	Clay County	77,841	6,542	127.52%
17	SR 21	Wells Rd. to Kingsley Ave.	FDOT	45	E	5,390	1.70	5-DIV	Prin. Arterial	Urban	Clay County	68,331	4,215	91.39%
18	SR 21	Kingsley Ave. to Suzanne Ave.	FDOT	45	E	5,130	0.70	6-DIV	Minor Arterial	Urban	Clay County	69,225	5,052	98.46%
19	SR 21	Suzanne Ave. to College Dr.	FDOT	45	E	5,130	2.00	6-DIV	Minor Arterial	Urban	Clay County	61,524	4,491	87.54%
20	SR 21	College Dr. to Knight Box Rd.	FDOT	45	E	5,130	1.70	6-DIV	Prin. Arterial	Urban	Clay County	45,731	3,367	65.03%
21	SR 21	Knight Box Rd. to Old Jennings Rd.	FDOT	45	E	5,390	1.10	6-DIV	Prin. Arterial	Urban	Clay County	45,731	3,686	68.39%
22	SR 21	Old Jennings Rd. to SR 23	FDOT	45	E	3,570	1.40	4-DIV	Prin. Arterial	Urban	Clay County	28,120	2,174	60.90%
23	SR 21	SR 23 to CR 220	FDOT	45	E	3,570	1.80	4-DIV	Prin. Arterial	Urban	Clay County	35,332	2,762	77.37%
24	SR 21	CR 220 to Long Bay Rd	FDOT	45	E	3,400	0.80	4-DIV	Prin. Arterial	Urban	Clay County	40,683	3,210	94.33%
25	SR 21	Long Bay Rd to CR 218	FDOT	45	E	3,518	1.30	4-DIV	Prin. Arterial	Urban	Clay County	40,671	3,136	89.15%
26	SR 21	CR 218 to CR 215	FDOT	45	E	3,570	1.90	4-DIV	Prin. Arterial	Urban	Clay County	22,208	1,757	49.12%
27	SR 21	CR 215 to SR 16	FDOT	45	E	3,070	4.30	2	Highway	Transition	Clay County	8,482	715	23.45%
28	SR 21	SR 16 to CR 315	FDOT	60	D	1,530	7.67	2	Highway	Rural	Clay County	9,882	832	54.38%
29	SR 23 (Brennan Field Rd.)	Duval County Line to Bradford County Line	FDOT	60	D	2,290	14.10	2	Highway	Rural	Clay County	6,697	613	26.77%
29.1	SR 23 (Brennan Field Rd.)	Oakleaf Plantation Pkwy to Old Jennings Rd.	FDOT	70	D	1,250	2.14	2	Prin. Arterial	Urban	Clay County	26,719	2,629	210.32%
29.2 (New 2)	Challenger Dr.	Oakleaf Plantation Pkwy to Old Jennings Rd.	FDOT	45	D/E	2,040	3.19	2	Prin. Arterial	Urban	Clay County	25,918	2,415	74.31%
29.3 (New 3)	Discovery Dr.	Oakleaf Plantation Pkwy to Old Jennings Rd.	FOOT/County	45	D/E	2,040	3.19	2	Frontage Road	Urban	Clay County	11,232	997	48.87%
30	SR 23	Old Jennings Rd. to SR 21	FOOT/County	50	D	3,250	0.83	2	Frontage Road	Urban	Clay County	9,667	864	25.97%
31	SR 100	Bradford County Line to CR 214	FOOT	45	C	800	2.70	4-DIV	Minor Arterial	Urban	Clay County	11,266	945	118.13%
32	SR 100	SR 214 to Putnam County Line	FOOT	60	C	1,690	2.20	2	Highway	Rural	Clay County	8,137	725	42.90%
33	SR 224 (Kingsley Ave.)	Bradford County Line to SR 16	FOOT	40	E	3,400	1.00	4-DIV	Minor Arterial	Urban	Clay County	29,478	2,412	70.94%
34	SR 230	Bradford County Line to SR 21	FOOT	55	D	2,290	3.70	2	Major Collector	Rural	Clay County	3,045	301	13.14%
35	CR 209	CR 220 to CR 739	County	35	D	2,277	1.40	4-DIV	Major Collector	Urban	Clay County	9,335	887	38.95%
36	CR 209	CR 739 to CR 739B	County	40	D	3,088	1.80	4-DIV	Major Collector	Urban	Clay County	20,748	1,755	56.84%
37	CR 209	CR 739B to CR 315B	County	45	E	1,521	3.20	2	Major Collector	Urban	Clay County	5,534	563	37.02%
38	CR 209	CR 315B to US 17	County	35	E	1,521	2.70	2	Major Collector	Urban	Clay County	11,805	1,168	76.79%
38.1	CR 209	SR 16 to CR 739	County	45	E	1,521	0.60	2	Major Collector	Urban	Clay County	12,408	1,171	76.98%
39	CR 218	CR 739 to Thunder Rd.	County	45	D	1,503	3.30	2	Major Collector	Rural	Clay County	6,569	608	40.45%
40	CR 218	Thunder Rd. to SR 21	County	45	E	1,521	2.50	2	Major Collector	Urban	Clay County	8,758	819	53.85%
41	CR 218	SR 21 to S. Mimosa Ave.	County	45	E	1,521	1.90	2	Major Collector	Urban	Clay County	13,103	1,120	73.64%
42	CR 218	S. Mimosa Ave. to US 301	County	45	E	1,521	2.00	2	Major Collector	Urban	Clay County	19,623	1,885	123.93%
43	CR 218	US 17 to W. Lake Shore Dr.	County	45/55	E	1,521	10.50	2	Major Collector	Urban	Clay County	6,29	629	41.35%
44	CR 220	W. Lake Shore Dr. to Swim. Pen Creek Bridge	County	35/45	D	4,401	1.20	6-DIV	Major Collector	Urban	Clay County	37,052	3,187	72.42%
45	CR 220		County	45	D	2,925	0.50	4-DIV	Major Collector	Urban	Clay County	34,958	3,053	104.72%

Revised 03/14/2021

Chondalur Traffic Solutions, Inc.

Table D2
Roadway Characteristics Inventory
Apalachee PUD, Clay County, Florida

Link No.	Roadway	Segment	Agency	Speed Limit	Adopted LOS	Adopted Peak Hour MSV	Length (Miles)	Lanes	Facility Type	Area Type	Source	2019 ADT Collected	2019 Peak Hour Volumes	Existing Conditions V/C Ratio
46	CR 220	Swim, Pen Creek Bridge to College Dr.	COUNTY	45	D	2,925	1.70	4-DIV	Major Collector	Urban	Clay County	33,745	2,861	101.23%
47	CR 220	College Dr. to Knight Box Rd.	COUNTY	45	D	2,925	1.40	4-DIV	Major Collector	Urban	Clay County	31,408	1,859	64.56%
48	CR 220	Knight Box Rd. to CR 209	COUNTY	45	D	1,521	1.40	2	Major Collector	Urban	Clay County	21,989	1,730	113.74%
48.1	CR 220	CR 209 to Bailey Rd	COUNTY	45	E	1,521	1.20	2	Major Collector	Urban	Clay County	13,837	1,123	73.83%
49	CR 220	Bailey Rd to SR 21	COUNTY	45	E	1,521	1.80	2	Major Collector	Urban	Clay County	7,943	765	50.10%
50	CR 220-a (Knight Box Rd.)	SR 21 to CR 220	COUNTY	35	E	3,060	1.20	4	Major Collector	Urban	Clay County	13,545	35,694	35.69%
51	CR 224 (College Dr.)	SR 21 to CR 220	COUNTY	45	E	3,060	1.60	4-DIV	Major Collector	Urban	Clay County	24,246	2,167	70.82%
52	CR 224	CR 220A to CR 220	COUNTY	45	E	3,060	1.10	4-DIV	Major Collector	Urban	Clay County	21,212	1,920	62.75%
53	CR 315	SR 16 to CR 315B	COUNTY	35	E	1,353	0.80	2	Minor Collector	Urban	Clay County	5,841	562	43.49%
53.1	CR 315	CR 315B to US 17	COUNTY	45	E	1,353	3.40	2	Minor Collector	Urban	Clay County	7,543	671	49.94%
53.2	CR 315B	CR 209 to CR 315	COUNTY	45	E	1,353	0.50	2	Minor Collector	Urban	Clay County	4,092	371	27.39%
54	CR 739	CR 209 to CR 739B	COUNTY	45	E	3,015	2.20	4-DIV	Minor Collector	Urban	Clay County	11,780	1,077	35.72%
55	CR 739	CR 739B to CR 218	COUNTY	45	E	3,015	1.00	4-DIV	Minor Collector	Urban	Clay County	11,576	1,036	34.86%
56	CR 735-B (Sandridge Rd.)	Rolling View Blvd to CR 209	COUNTY	45	E	1,161	2.00	2	Minor Collector	Urban	Clay County	6,559	659	56.76%
56.1 (New 4)	CR 735-B (Sandridge Rd.)	CR 735 to Rolling View Blvd.	COUNTY	45	E	1,161	1.80	2	Minor Collector	Urban	Clay County	9,140	873	75.19%
57	Doctors Lake Dr.	Orange Park to Greenridge Rd.	COUNTY	35	E	1,161	2.60	2	Minor Collector	Urban	Clay County	9,775	998	85.96%
58	Doctors Lake Dr.	Greenridge Rd. to Peoria Rd.	COUNTY	35	E	1,161	1.75	2	Minor Collector	Urban	Clay County	6,710	703	60.55%
59	Moody Rd.	Doctors Lake Dr. to Suzanne Ave.	COUNTY	30	E	1,161	1.50	2	Minor Collector	Urban	Clay County	6,771	800	68.31%
60	Moody Rd.	Suzanne Ave. to Peoria Rd.	COUNTY	30	E	1,161	1.95	2	Minor Collector	Urban	Clay County	7,421	860	74.07%
61	Old Jennings Rd.	SR 21 to SR 23	COUNTY	45	E	3,230	1.20	4-DIV	Minor Collector	Urban	Clay County	20,047	1,852	57.44%
61.1	Old Jennings Rd.	SR 23 to Long Bay Rd	COUNTY	45	E	1,606	2.00	2	Minor Collector	Urban	Clay County	7,998	693	43.16%
62	Peoria Rd.	College Dr. to Moody Rd.	COUNTY	40	E	1,355	0.23	2	Minor Collector	Urban	Clay County	11,719	1,229	90.73%
63	Peoria Rd.	Moody Rd. to Doctors Lake Dr.	COUNTY	40	E	1,355	0.62	2	Minor Collector	Urban	Clay County	6,265	674	49.76%
64	Wells Rd.	SR 21 to Orange Park	COUNTY	45	E	3,015	2.00	4-DIV	Minor Arterial	Urban	Clay County	21,584	1,860	61.69%
65	Cheswick Oaks Ave.	Duval County Line to End of Pavement	COUNTY	35	E	1,521	1.00	2	Major Collector	Urban	Clay County	9,701	842	55.36%
66	Long Bay Rd	SR 21 to CR 220	COUNTY	35	E	1,355	0.50	2	Minor Collector	Urban	Clay County	8,873	765	56.55%
67	Long Bay Rd	Old Jennings Road to SR 21	COUNTY	45	E	1,355	2.70	2	Minor Collector	Urban	Clay County	4,253	377	27.63%
68 (New 1)	Oakleaf Pkwy	Argyle Forest Blvd to Beaman Field Chaffee Rd.	COUNTY	45	E	3,060	3.80	4-DIV	Major Collector	Urban	Clay County	20,075	1,661	54.38%
I	First Coast Expressway	Old Jennings Blvd. to SR 21	FDOT	65	D	6,700		4-DIV	Freeway	Urban				0.00%
J	First Coast Expressway	SR 21 to CR 739B	FDOT	65	D	6,700		4-DIV	Freeway	Urban				0.00%
K	First Coast Expressway	CR 739B to CR 218 Extension	FDOT	65	D	6,700		4-DIV	Freeway	Urban				0.00%
L	First Coast Expressway	CR 218 Extension to SR 16	FDOT	65	D	6,700		4-DIV	Freeway	Urban				0.00%
M	First Coast Expressway	SR 16 to US 17	FDOT	65	D	6,700		4-DIV	Freeway	Urban				0.00%
N	Oak Ridge Avenue	US 17 to St. Johns County Line	CITY of Green Cove Springs	35	D	1,161		2	Minor Collector	Urban	FDOT	2,200	198	17.05%
O	Oak Ridge Avenue	SR 16 to Green Cove Avenue	CITY of Green Cove Springs	35	D	1,161		2	Minor Collector	Urban	FDOT	2,200	198	17.05%
P	Oak Ridge Avenue	Green Cove Avenue to Project Entrance	CITY of Green Cove Springs	35	D	1,161		2	Minor Collector	Urban	FDOT	2,200	198	17.05%
Q	Green Cove Avenue	Project Entrance to US 17	CITY of Green Cove Springs	25	D	1,161		2	Local Road	Urban	FDOT	1,600	144	12.40%

Table D3
Project Traffic Distribution and Assignment
Ayrashine PUD, Clay County, Florida

Link No.	Roadway	Segment	Adjusted Project Traffic Distribution	17,115		Peak Hour MSV	Project Traffic % of MSV	Roadway Segment Impacted
				1,889				
				Project Traffic Assignment Daily	Peak Hour			
A	US 17	Duval County Line to Wells Rd.	11.80%	2,294	253	8,411	3.01%	No
B	US 17	Wells Rd. to Kingsley Ave.	12.07%	2,058	227	5,890	4.21%	No
C	US 17	Kingsley Ave. to Dr. Inlet Bridge	16.35%	2,798	309	5,390	5.73%	Yes
I	US 17	Dr. Inlet Bridge to Raggedy Point Dr.	11.41%	2,814	311	5,390	5.77%	Yes
1.1	US 17	Raggedy Point Dr. to CR 220	17.04%	2,917	322	5,390	5.97%	Yes
2	US 17	CR 220 to Water Oak Lane	19.11%	3,270	361	8,840	4.08%	No
3	US 17	Water Oak Lane to Black Creek Bridge	20.11%	3,441	380	8,840	4.30%	Yes
3.1	US 17	Black Creek Bridge to CR 209	20.52%	3,510	387	5,900	6.56%	No
4	US 17	CR 209 to Green Cove Springs	23.70%	4,056	448	5,900	7.59%	Yes
D	US 17	Green Cove Springs to SR 16 West	30.87%	5,283	583	2,920	19.97%	Yes
E	US 17	SR 16 East to SR 16 West	35.37%	6,054	668	3,580	18.66%	Yes
F	US 17	SR 16 East to CR 209	40.35%	6,907	762	3,580	21.28%	Yes
G	US 17	CR 209 to CR 226	3.98%	681	75	3,580	2.09%	No
5	US 17	CR 226 to Putnam County Line	3.25%	556	61	4,460	1.37%	No
7	US 301	Duval County Line to CR 218	0.10%	17	2	4,190	0.05%	No
8	US 301	CR 218 to Bradford County Line	0.00%	-	-	3,220	0.00%	No
9	SR 16	Green Cove Springs to Penney Farms	3.11%	532	59	1,550	3.81%	No
10	SR 16	Penney Farms to SR 21	0.09%	15	2	3,070	0.07%	No
11	SR 16	SR 21 to CR 215	0.00%	-	-	5,600	0.00%	No
12	SR 16	CR 215 to End of 4 lane	0.00%	-	-	5,600	0.00%	No
13	SR 16	End of 4 lane to SR 230	0.00%	-	-	2,290	0.00%	No
14	SR 16	SR 230 to Bradford County Line	0.00%	-	-	2,290	0.00%	No
15	SR 16	Shands Bridge	1.53%	262	29	3,070	0.94%	No
16	SR 21	Duval County Line to Wells Rd.	0.38%	65	7	5,130	0.14%	No
17	SR 21	Wells Rd. to Kingsley Ave.	0.10%	17	2	5,390	0.04%	No
18	SR 21	Kingsley Ave. to Suzanne Ave.	0.03%	5	1	5,130	0.02%	No
19	SR 21	Suzanne Ave. to College Dr.	0.33%	56	6	5,130	0.12%	No
20	SR 21	College Dr. to Knight Box Rd.	0.08%	14	2	5,130	0.04%	No
21	SR 21	Knight Box Rd. to Old Jennings Rd.	0.13%	22	2	5,390	0.04%	No
22	SR 21	Old Jennings Rd. to SR 23	0.05%	9	1	3,570	0.03%	No
23	SR 21	SR 23 to CR 220	0.05%	9	1	3,570	0.03%	No
24	SR 21	CR 220 to Long Bay Rd	0.00%	-	-	3,400	0.00%	No
24.1	SR 21	Long Bay Rd to CR 218	0.17%	29	3	3,510	0.09%	No
25	SR 21	CR 218 to CR 215	0.17%	29	3	3,570	0.08%	No
26	SR 21	CR 215 to SR 16	0.00%	-	-	3,070	0.00%	No
27	SR 21	SR 16 to CR 315	0.05%	9	1	3,530	0.07%	No
28	SR 21	CR 315 to Bradford County Line	0.04%	7	1	2,290	0.04%	No
29	SR 23 (Branan Field Rd.)	Duval County Line to Oakleaf Plantation Pkwy	0.24%	41	5	3,250	0.40%	No
29.1	SR 23 (Branan Field Rd.)	Oakleaf Plantation Pkwy to Old Jennings Rd.	0.24%	41	5	3,250	0.15%	No
29.2 (New 2)	Chalenger Dr.	Oakleaf Plantation Pkwy to Old Jennings Rd.	0.05%	9	1	2,040	0.05%	No
29.3 (New 3)	Discovery Dr.	Oakleaf Plantation Pkwy to Old Jennings Rd.	0.08%	14	2	2,040	0.10%	No
30	SR 23	Old Jennings Rd. to SR 21	0.24%	41	5	3,250	0.15%	No
31	SR 100	Bradford County Line to CR 214	0.00%	-	-	800	0.00%	No
32	SR 100	CR 214 to Putnam County Line	0.01%	2	-	1,690	0.00%	No
33	SR 224 (Kingsley Ave.)	SR 21 to Orange Park	3.50%	599	66	3,400	1.94%	No
34	SR 230	Bradford County Line to SR 16	0.00%	-	-	2,290	0.00%	No
35	CR 209	SR 21 to CR 220	0.17%	29	3	2,277	0.13%	No
36	CR 209	CR 220 to CR 739	0.27%	46	5	3,088	0.16%	No
37	CR 209	CR 739 to CR 739B	0.28%	48	5	1,521	0.33%	No
38	CR 209	CR 739B to CR 315B	0.85%	145	16	1,521	1.05%	No
38.1	CR 209	CR 315B to US 17	0.75%	128	14	1,521	0.92%	No
39	CR 218	SR 16 to CR 739	0.11%	19	2	1,503	0.13%	No
40	CR 218	CR 739 to Thunder Rd.	0.75%	128	14	1,521	0.92%	No
41	CR 218	Thunder Rd. to SR 21	0.62%	106	12	1,521	0.79%	No
42	CR 218	SR 21 to S. Mimosa Ave.	0.24%	41	5	1,521	0.33%	No
43	CR 218	S. Mimosa Ave. to US 301	0.27%	38	4	1,521	0.26%	No
44	CR 220	US 17 to W. Lake Shore Dr.	3.07%	525	58	4,401	1.32%	No
45	CR 220	W. Lake Shore Dr. to Swim. Pen Creek Bridge	2.49%	426	47	2,925	1.61%	No
46	CR 220	Swim. Pen Creek Bridge to College Dr.	2.28%	390	43	2,925	1.47%	No
47	CR 220	College Dr. to Knight Box Rd.	0.98%	168	19	2,925	0.65%	No
48	CR 220	Knight Box Rd. to CR 209	0.60%	103	11	1,521	0.72%	No
48.1	CR 220	CR 209 to Baxley Rd	0.51%	87	10	1,521	0.66%	No
49	CR 220	Baxley Rd to SR 21	0.15%	16	3	1,521	0.20%	No
50	CR 220-B (Knight Box Rd.)	SR 21 to CR 220	0.22%	38	4	3,060	0.13%	No
51	CR 224 (College Dr.)	SR 21 to CR 220A	1.09%	187	21	3,060	0.69%	No
52	CR 224	CR 220A to CR 220	1.23%	211	23	3,060	0.75%	No
53	CR 315	SR 16 to CR 315B	2.12%	363	40	1,355	2.95%	No
53.1	CR 315	CR 315B to US 17	0.46%	79	9	1,355	0.66%	No
53.2	CR 315B	CR 209 to CR 315	0.75%	128	14	1,355	1.03%	No
54	CR 739	CR 209 to CR 739B	0.00%	-	-	3,015	0.00%	No
55	CR 739	CR 739B to CR 218	0.00%	-	-	3,015	0.00%	No
56	CR 739-B (Sandridge Rd.)	Rolling View Blvd to CR 209	0.15%	26	3	1,161	0.26%	No
56.1 (New 4)	CR 739-B (Sandridge Rd.)	CR 739 to Rolling View Blvd.	0.15%	26	3	1,161	0.26%	No
57	Doctors Lake Dr.	Orange Park to Greenridge Rd.	0.16%	27	3	1,161	0.26%	No
58	Doctors Lake Dr.	Greenridge Rd. to Peoria Rd.	0.00%	-	-	1,161	0.00%	No
59	Moody Rd.	Doctors Lake Dr. to Suzanne Ave.	0.09%	15	2	1,161	0.17%	No
60	Moody Rd.	Suzanne Ave. to Peoria Rd.	0.11%	19	2	1,161	0.17%	No
61	Old Jennings Rd.	SR 21 to SR 23	0.17%	29	3	3,230	0.09%	No
61.1	Old Jennings Rd.	SR 23 to Long Bay Rd	0.01%	2	-	1,606	0.00%	No
62	Peoria Rd.	College Dr. to Moody Rd.	0.18%	31	3	1,355	0.22%	No
63	Peoria Rd.	Moody Rd. to Doctors Lake Dr.	0.05%	10	1	1,355	0.07%	No
64	Wells Rd.	SR 21 to Orange Park	0.22%	38	4	3,015	0.13%	No
65	Cheswick Oaks Ave.	Duval County Line to End of Pavement	0.00%	-	-	1,521	0.00%	No
66	Baxley Rd	SR 21 to CR 220	0.17%	29	3	1,355	0.22%	No
67	Long Bay Rd.	Old Jennings Road to SR 21	0.07%	12	1	1,355	0.07%	No
68 (New 1)	Oakleaf Plantation Pkwy	Argyle Forrest Blvd to Branan Field Chaffee Rd.	0.06%	10	1	3,060	0.03%	No
H	First Coast Expressway	Old Jennings Blvd. to SR 21	14.06%	2,406	266	6,700	3.97%	No
I	First Coast Expressway	SR 21 to CR 739B	14.06%	2,406	266	6,700	3.97%	No
J	First Coast Expressway	CR 739B to CR 218 Extension	14.06%	2,406	266	6,700	3.97%	No
K	First Coast Expressway	CR 218 Extension to SR 16	14.06%	2,406	266	6,700	3.97%	No
L	First Coast Expressway	SR 16 to US 17	14.65%	2,507	277	6,700	4.13%	No
M	First Coast Expressway	US 17 to St. Johns County Line	38.91%	5,816	642	6,700	9.58%	Yes
N	Oak Ridge Avenue	SR 16 to Green Cove Avenue	6.70%	1,147	127	1,161	10.94%	Yes
O	Oak Ridge Avenue	Green Cove Avenue to Project Entrance	6.70%	1,147	127	1,161	10.94%	Yes
P	Oak Ridge Avenue	Project Entrance to US 17	4.32%	739	82	1,161	7.06%	Yes
Q	Green Cove Avenue	US 17 to Oak Ridge Avenue	3.35%	573	63	1,161	5.43%	Yes

Roadway	Termini	Year 2030 AADT	Project Traffic Distribution
Oak Ridge Avenue	SR 16 to Project Entrance		6.70%
Oak Ridge Avenue	Project Entrance to US 17		4.32%
US 17	SR 16 to Project Entrance		40.35%
US 17	Project Entrance to Outer Beltway	17,890	48.63%
Outer Beltway	US 17 to SR 13/16	11,878	31.98%
Outer Beltway	US 17 to SR 16 West	5,100	14.45%

100.00%

Table D4
Impacted Roadway Segment Analysis
Ayrshire PUD, Citrus County, Florida

Link No.	Roadway	Segment	Impacted	Peak Hour MSV	Year 2020 Traffic Volumes	Growth Rate	Year 2030 Traffic Volumes	2030 Background Traffic > MSV	Project Traffic Assignment	Year 2030 Build-Out Traffic	2030 Build-Out Traffic % of MSV	2030 Build-Out Traffic > MSV	Project Related Adverse Impacts
B	US 17	Wells Rd. to Kingsley Ave.	No	5,390	6,060		6,660	Yes	227	6,887	127.77%	Yes	No
C	US 17	Kingsley Ave. to Dr. Inlet Bridge	Yes	5,390	5,227		6,162	Yes	309	6,471	120.06%	Yes	No
1	US 17	Dr. Inlet Bridge to Ragsdale Point Dr.	Yes	5,390	5,292		6,409	Yes	311	6,720	124.68%	Yes	No
1.1	US 17	Ragsdale Point Dr. to CR 220	Yes	5,390	5,349		6,566	Yes	322	6,888	127.79%	Yes	No
Z	US 17	CR 220 to Water Oak Lane	No	8,840	3,839		5,426	No	361	5,787	65.46%	No	No
3	US 17	Water Oak Lane to Black Creek Bridge	No	8,840	3,839		5,426	No	380	5,806	65.68%	No	No
3.1	US 17	Black Creek Bridge to CR 209	Yes	5,900	3,251		4,396	No	387	4,783	81.07%	No	No
4	US 17	CR 209 to Green Cove Springs	Yes	5,900	3,251		4,396	No	448	4,844	82.10%	No	No
D	US 17	Green Cove Springs to SR 16 West	Yes	2,920	2,432		3,475	Yes	583	4,058	138.97%	Yes	No
E	US 17	SR 16 East to SR 16 West	Yes	3,580	2,124		2,721	No	658	3,389	94.65%	No	No
F	US 17	SR 16 East to CR 209	Yes	3,580	1,356		1,610	No	762	2,372	66.26%	No	No
M	First Coast Expressway	US 17 to St. Johns County Line	Yes	6,700			1,065	No	642	1,707	25.48%	No	No
N	Oak Ridge Avenue	SR 16 to Green Cove Avenue	Yes	1,161	198	2.00%	241	No	127	368	31.70%	No	No
O	Oak Ridge Avenue	Green Cove Avenue to Project Entrance	Yes	1,161	198	2.00%	241	No	127	368	31.70%	No	No
P	Oak Ridge Avenue	Project Entrance to US 17	Yes	1,161	198	2.00%	241	No	82	323	27.82%	No	No
Q	Green Cove Avenue	US 17 to Oak Ridge Avenue	Yes	1,161	198	2.00%	241	No	63	304	26.18%	No	No

Attachment A

Conceptual Site Plan

(Source: Dunn and Associates, Inc.)



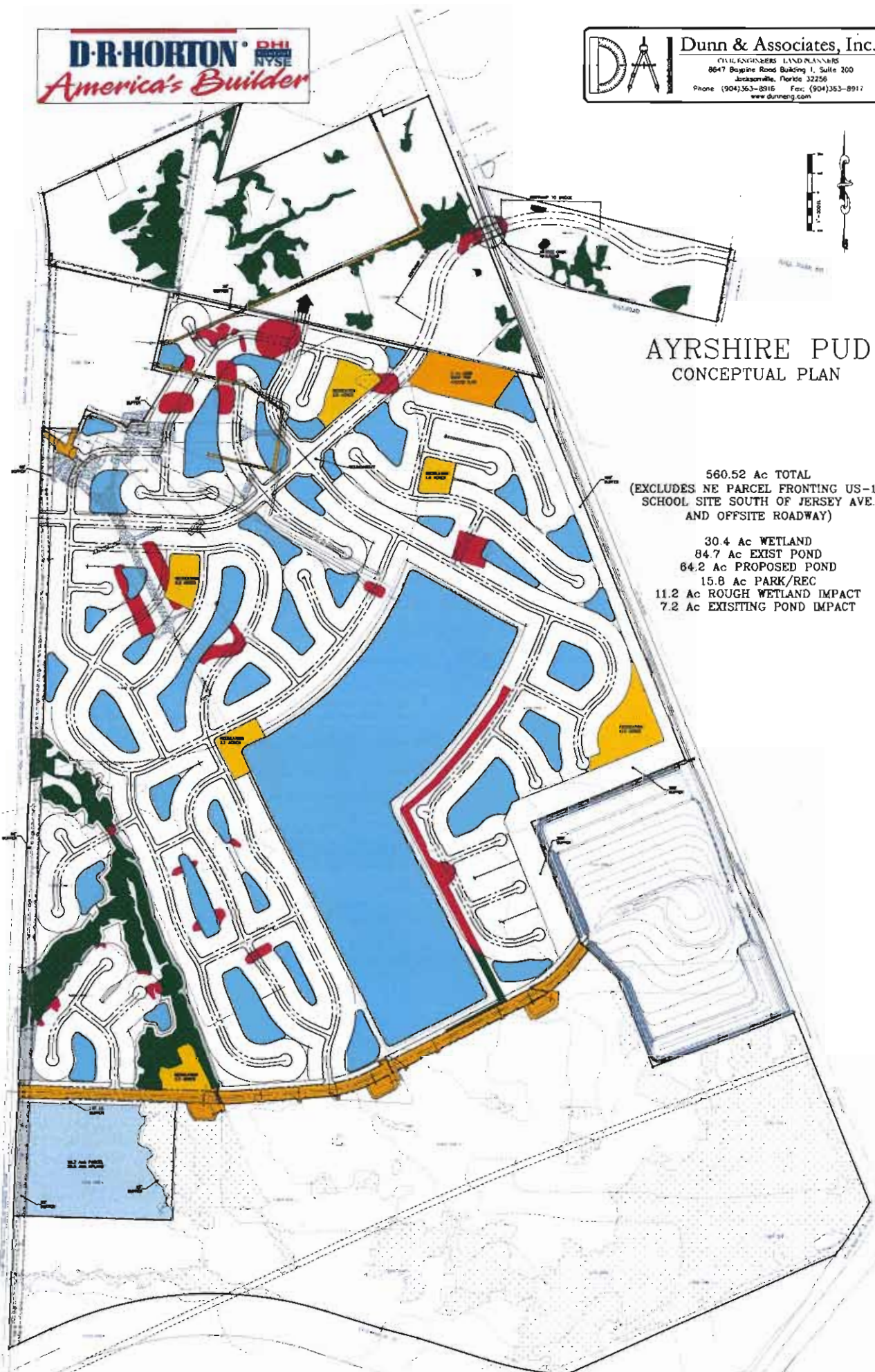
DAI Dunn & Associates, Inc.
 CIVIL ENGINEERS LAND PLANNERS
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 www.dunneng.com



AYRSHIRE PUD CONCEPTUAL PLAN

560.52 Ac TOTAL
 (EXCLUDES NE PARCEL FRONTING US-17,
 SCHOOL SITE SOUTH OF JERSEY AVE.
 AND OFFSITE ROADWAY)

30.4 Ac WETLAND
 84.7 Ac EXIST POND
 64.2 Ac PROPOSED POND
 15.8 Ac PARK/REC
 11.2 Ac ROUGH WETLAND IMPACT
 7.2 Ac EXISTING POND IMPACT



Attachment B

Clay County Roadway System Capacity Analysis Spreadsheet

Roadway Characteristics Inventory, March, 2019
 City County, Florida

ID	Link No.	Route	Segment	Agency	Length (Miles)	Lanes	Facility Type	Route Type	Number of Segments	Segment	Adopted LCL	Revised Gen. Traffic MVT	Source	Construction MVT	Count Date	2018 ADT Collected	2018 Peak Collected	Seasonal Factor	ADT Factor	2018 ADT (Revised)	K-Factor	D-Factor	2018 President	V-C Ratio with Updated Coefficients	Link over Capacity
1	US 17	US 17	Highway	FDOOT	1.7	4	Highway	Urban	3	+0.00 to 1.00	U	5,130	1264.4	1264.4	4/27/19 - 4/27/19	59,222	4,826	0.37	0.37	59,706	9.0	54.3	1,170	61.7%	FALSE
2	SR 20	SR 20	Highway	FDOOT	1.4	4	Highway	Urban	3	+0.00 to 1.00	U	5,130	1264.4	1264.4	3/12/19 - 3/12/19	51,311	4,308	0.37	0.37	51,800	9.0	54.3	1,170	61.7%	FALSE
3	US 17	US 17	Highway	FDOOT	2.2	4	Highway	Urban	2	+0.00 to 1.50	U	5,130	1264.4	1264.4	3/12/19 - 3/12/19	42,800	3,398	0.37	0.37	43,290	9.0	54.3	1,170	61.7%	FALSE
4	SR 20	SR 20	Highway	FDOOT	2.7	4	Highway	Urban	2	+0.00 to 1.50	U	5,130	1264.4	1264.4	3/12/19 - 3/12/19	46,331	3,815	0.37	0.37	46,820	9.0	54.3	1,170	61.7%	FALSE
5	SR 20	SR 20	Highway	FDOOT	0.8	4	Highway	Urban	1	+0.00 to 1.50	U	5,130	1264.4	1264.4	3/12/19 - 3/12/19	36,331	2,949	0.37	0.37	36,820	9.0	54.3	1,170	61.7%	FALSE
6	SR 16	SR 16	Highway	FDOOT	0.3	4	Highway	Urban	1	N/A	U	1,770	1264.4	1264.4	3/12/19 - 3/12/19	11,803	1,110	0.37	0.37	12,290	9.0	54.3	1,170	61.7%	FALSE
7	SR 21	SR 21	Highway	FDOOT	0.5	4	Highway	Urban	0	N/A	U	4,890	1264.4	1264.4	3/12/19 - 3/12/19	49,437	4,081	0.37	0.37	50,926	9.0	54.3	1,170	61.7%	FALSE
8	SR 21	SR 21	Highway	FDOOT	2.5	4	Highway	Urban	0	Unspecified	U	4,190	1264.4	1264.4	3/12/19 - 3/12/19	28,127	2,301	0.37	0.37	29,616	9.0	54.3	1,170	61.7%	FALSE
9	SR 21	SR 21	Highway	FDOOT	5.3	4	Highway	Rural	1	+0.00 to 1.50	U	1,310	1264.4	1264.4	3/12/19 - 3/12/19	10,546	1,024	0.37	0.37	11,035	9.0	54.3	1,170	61.7%	FALSE
10	SR 21	SR 21	Highway	FDOOT	4.5	2	Highway	Rural	1	+0.00 to 1.50	U	2,070	1264.4	1264.4	3/12/19 - 3/12/19	8,503	1,124	0.37	0.37	8,992	9.0	54.3	1,170	61.7%	FALSE
11	SR 16	SR 16	Highway	FDOOT	4.7	4	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	3/12/19 - 3/12/19	492	482	0.37	0.37	541	9.0	54.3	1,170	61.7%	FALSE
12	SR 16	SR 16	Highway	FDOOT	1.1	4	Highway	Rural	0	Unspecified	U	5,130	1264.4	1264.4	3/12/19 - 3/12/19	10,546	921	0.37	0.37	11,035	9.0	54.3	1,170	61.7%	FALSE
13	SR 16	SR 16	Highway	FDOOT	2.2	2	Highway	Rural	0	Unspecified	U	2,700	1264.4	1264.4	3/12/19 - 3/12/19	10,546	921	0.37	0.37	11,035	9.0	54.3	1,170	61.7%	FALSE
14	SR 16	SR 16	Highway	FDOOT	2.2	2	Highway	Rural	0	Unspecified	U	2,700	1264.4	1264.4	3/12/19 - 3/12/19	10,546	921	0.37	0.37	11,035	9.0	54.3	1,170	61.7%	FALSE
15	SR 16	SR 16	Highway	FDOOT	1.5	2	Highway	Rural	0	Unspecified	U	2,700	1264.4	1264.4	3/12/19 - 3/12/19	10,546	921	0.37	0.37	11,035	9.0	54.3	1,170	61.7%	FALSE
16	SR 21	SR 21	Highway	FDOOT	0.3	4	Highway	Urban	1	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
17	SR 21	SR 21	Highway	FDOOT	0.7	4	Highway	Urban	1	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
18	SR 21	SR 21	Highway	FDOOT	0.7	4	Highway	Urban	1	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
19	SR 21	SR 21	Highway	FDOOT	0.7	4	Highway	Urban	1	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
20	SR 21	SR 21	Highway	FDOOT	1.7	4	Highway	Urban	3	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
21	SR 21	SR 21	Highway	FDOOT	1.1	4	Highway	Urban	3	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
22	SR 21	SR 21	Highway	FDOOT	1.4	4	Highway	Urban	3	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
23	SR 21	SR 21	Highway	FDOOT	1.8	4	Highway	Urban	3	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
24	SR 21	SR 21	Highway	FDOOT	1.5	4	Highway	Urban	3	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
25	SR 21	SR 21	Highway	FDOOT	1.9	4	Highway	Urban	3	+0.00 to 1.50	U	5,130	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
26	SR 21	SR 21	Highway	FDOOT	4.5	2	Highway	Rural	0	Unspecified	U	3,570	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
27	SR 21	SR 21	Highway	FDOOT	1.1	2	Highway	Rural	0	Unspecified	U	3,570	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
28	SR 21	SR 21	Highway	FDOOT	1.1	2	Highway	Rural	0	Unspecified	U	3,570	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
29	SR 21	SR 21	Highway	FDOOT	2.1	2	Highway	Rural	0	Unspecified	U	3,570	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
30	SR 21	SR 21	Highway	FDOOT	2.8	4	Highway	Urban	7	+0.00 to 1.50	U	3,250	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
31	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
32	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
33	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
34	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
35	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
36	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
37	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
38	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
39	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
40	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
41	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
42	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
43	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
44	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
45	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
46	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	1264.4	1264.4	5,643	77,841	6,415	0.37	0.37	79,256	9.0	54.3	1,170	61.7%	FALSE
47	SR 21	SR 21	Highway	FDOOT	3.1	2	Highway	Rural	0	Unspecified	U	2,600	126												

Attachment C

FDOT District 2 LOS Summary Reports and FDOT Traffic Counts



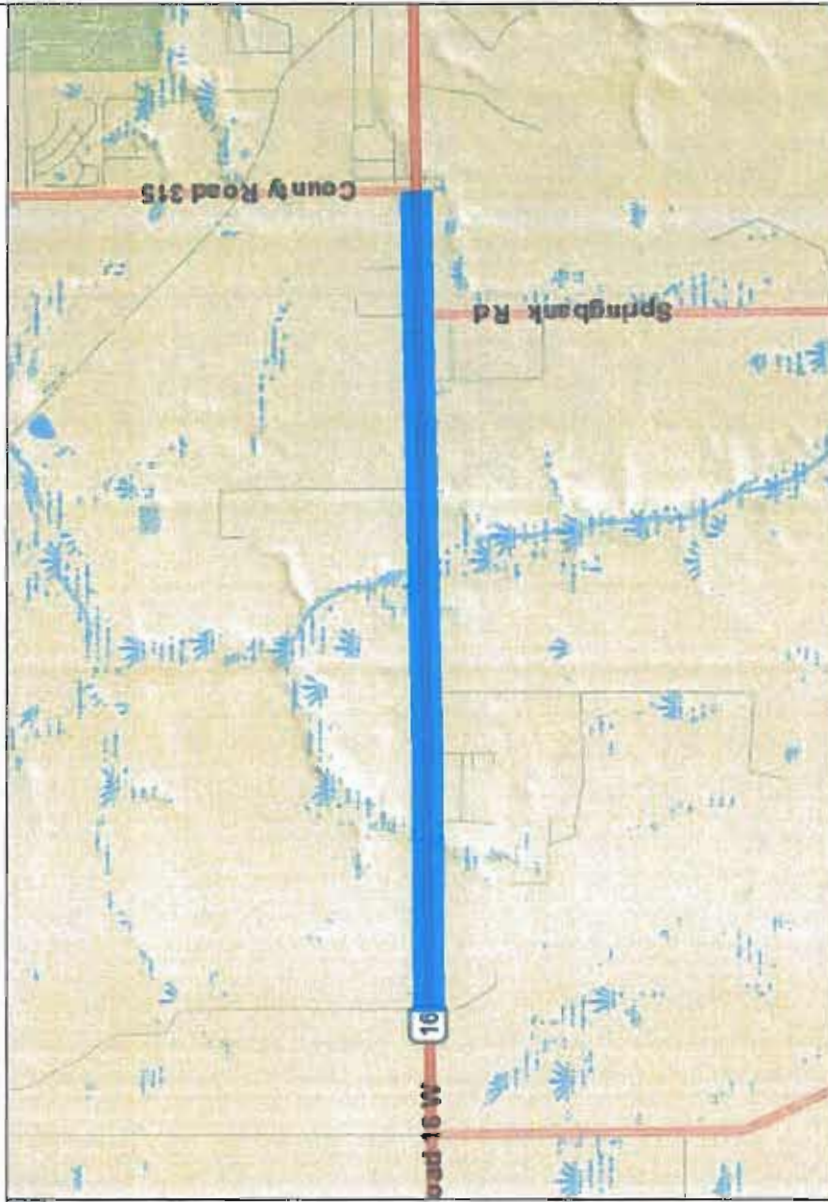
SR 16 from CR-315 to W. City Limit Of Green Cove Springs

Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	626	2	2	2	4	4	4	4
Segment Length (miles):	1.744 mi	11,800	13,910	19,185	24,460	29,736	35,011	40,286
Location:	Clay County	1,680	1,680	1,680	3,759	3,759	3,759	3,759
County:	Clay	1,062	1,252	1,727	2,201	2,676	3,151	3,626
Roadway ID:	71050000	C	C	F	C	C	C	D
Begin MP:	20.373							
End MP:	22.117							
SIS:	No							
SIS Type:	Non SIS							
Median Treatment:	Undivided							
Directionality:	Two-Way							
Posted Speed:	45-55 mph							
Facility Type:	Arterial							
Area Type:	Urbanized							
Standard K:	9.0%							
FDOT LOS Standard:	D							
Max. Service Vol. Adj. Factor:	0.05							
Data Sources:	RCI; TCI; NERPM AB; GUATS; FLSWM							
Google Street View:	http://maps.google.com/maps?y=31.18077,-81.7166290848394							
Projected Values								
Number of Lanes		2	2	2	4	4	4	4
AADT		11,800	13,910	19,185	24,460	29,736	35,011	40,286
Peak Hour Maximum Service Volume at LOS Standard		1,680	1,680	1,680	3,759	3,759	3,759	3,759
Peak Hour Traffic Volume		1,062	1,252	1,727	2,201	2,676	3,151	3,626
Peak Hour LOS		C	C	F	C	C	C	D

Notes: Four lanes by 2030 per LRTP (add two lanes); Facility is an Arterial with right turn lanes causing a +5% adjustment factor to be applied.

SR 16 from Paso Fino Rd to CR-315

Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	290	2	2	2	4	4	4	4
Segment Length (miles):	3.285 mi	11,122	13,346	18,907	24,468	30,029	35,590	41,151
Location:	Clay County	1,550	1,550	1,550	4,460	4,460	4,460	4,460
County:	Clay	1,001	1,201	1,702	2,202	2,703	3,203	3,704
Roadway ID:	71050000	C	C	D	B	B	C	C
Begin MP:	17.087							
End MP:	20.373							
SIS:	No							
SIS Type:	Non SIS							
Median Treatment:	Undivided							
Directionality:	Two-Way							
Posted Speed:	55 mph							
Facility Type:	Highway							
Area Type:	Transition							
Standard K:	9.0%							
FDOT LOS Standard:	C							
Max. Service Vol. Adj. Factor:	0.00							
Data Sources:	RCI; TCI; NERPM AB; GUATS; FLSWM							
Google Street View:	http://maps.google.com/maps?hl=es&ll=29.9831439307032,-81.756545706321							
Projected Values								
Number of Lanes		2	2	2	4	4	4	4
AADT		11,122	13,346	18,907	24,468	30,029	35,590	41,151
Peak Hour Maximum Service Volume at LOS Standard		1,550	1,550	1,550	4,460	4,460	4,460	4,460
Peak Hour Traffic Volume		1,001	1,201	1,702	2,202	2,703	3,203	3,704
Peak Hour LOS		C	C	D	B	B	C	C



Notes: Four lanes by 2030 per LRTP (add two lanes)

FDOT D2 LOS Report
An Interactive Mapping and Reporting Application

Level of Service Segments

Attribute	Value
Segment Description	SR 23 / First Coast Expwy. from SR 21 / Blanding Blvd to Oakleaf Plantation Pkwy.
County	Clay
Roadway	SR 23 / First Coast Expwy.
Segment Extent	SR 21 / Blanding Blvd to Oakleaf Plantation Pkwy.
Segment ID	10,000
Location	Clay County
Roadway ID	71293000
Begin MP	2.275
End MP	6.313
Segment Length (mi)	4.038
Median Treatment	1
Directionality	0
Posted Speed	n/a
SIS	Yes
SIS Type	SIS Future Corridor
Area Type	Urbanized
Facility Type	Freeway
Max. Service Vol. Adjustment Factor	Null
Standard K-Factor	9%
FDOT LOS Standard	Null
Lanes 2018	0
AADT 2018	0
Peak Volume 2018	0

Attribute	Value
Peak Max. Service Vol. 2018	Null
Peak LOS 2018	#N/A
Lanes 2020	4
AADT 2020	7,707
Peak Volume 2020	694
Peak Max. Service Vol. 2020	Null
Peak LOS 2020	B
Lanes 2025	4
AADT 2025	12,240
Peak Volume 2025	1,102
Peak Max. Service Vol. 2025	Null
Peak LOS 2025	B
Lanes 2030	4
AADT 2030	16,773
Peak Volume 2030	1,510
Peak Max. Service Vol. 2030	Null
Peak LOS 2030	B
Lanes 2035	4
AADT 2035	21,307
Peak Volume 2035	1,918
Peak Max. Service Vol. 2035	Null
Peak LOS 2035	B
Lanes 2040	4
AADT 2040	25,840
Peak Volume 2040	2,326

Attribute	Value
Peak Max. Service Vol. 2040	Null
Peak LOS 2040	B
Lanes 2045	4
AADT 2045	30,373
Peak Volume 2045	2,734
Peak Max. Service Vol. 2045	Null
Peak LOS 2045	B
Comments	First Coast ExpressWay - Four lanes by 2020 per FCX (new road construction)
Google Street View	http://maps.google.com/maps?q=&layer=c&cbll=30.1271240767067,-81.830653249936

FDOT D2 LOS Report
An Interactive Mapping and Reporting Application

Level of Service Segments

Attribute	Value
Segment Description	SR 23 / First Coast Expwy. from Henley Rd to new interchange at Paso Fino Rd
County	Clay
Roadway	SR 23 / First Coast Expwy.
Segment Extent	Henley Rd to new interchange at Paso Fino Rd
Segment ID	9.998
Location	Clay County
Roadway ID	71493000
Begin MP	9.202
End MP	14.266
Segment Length (mi)	5.064
Median Treatment	1
Directionality	0
Posted Speed	n/a
SIS	Yes
SIS Type	SIS Future Corridor
Area Type	Transition
Facility Type	Freeway
Max. Service Vol. Adjustment Factor	Null
Standard K-Factor	9%
FDOT LOS Standard	Null
Lanes 2018	0
AADT 2018	0
Peak Volume 2018	0

Attribute Value

Peak Max. Service Vol. 2018	Null
Peak LOS 2018	#N/A
Lanes 2020	0
AADT 2020	0
Peak Volume 2020	0
Peak Max. Service Vol. 2020	Null
Peak LOS 2020	#N/A
Lanes 2025	4
AADT 2025	5,100
Peak Volume 2025	459
Peak Max. Service Vol. 2025	Null
Peak LOS 2025	B
Lanes 2030	4
AADT 2030	6,000
Peak Volume 2030	540
Peak Max. Service Vol. 2030	Null
Peak LOS 2030	B
Lanes 2035	4
AADT 2035	6,900
Peak Volume 2035	621
Peak Max. Service Vol. 2035	Null
Peak LOS 2035	B
Lanes 2040	4
AADT 2040	7,800
Peak Volume 2040	702

Attribute	Value
Peak Max. Service Vol. 2040	Null
Peak LOS 2040	B
Lanes 2045	4
AADT 2045	8,700
Peak Volume 2045	783
Peak Max. Service Vol. 2045	Null
Peak LOS 2045	B
Comments	First Coast ExpressWay - Four lanes by 2025 per FCX (new road construction). LOS calculated with seg. in place by 2025. This seg. is on advancing request ph. for 2019 WP cycle. Approval pending for adoption into LRTP for 2017, please check for updates.
Google Street View	http://maps.google.com/maps?q=&layer=c&cbll=30.056664992917,-81.7798082324671

FDOT D2 LOS Report
An Interactive Mapping and Reporting Application

Level of Service Segments

Attribute	Value
Segment Description	SR 23 / First Coast Expwy. from New interchange at Paso Fino Rd to SR 16
County	Clay
Roadway	SR 23 / First Coast Expwy.
Segment Extent	New interchange at Paso Fino Rd to SR 16
Segment ID	9.997
Location	Clay County
Roadway ID	71493000
Begin MP	14.266
End MP	17.079
Segment Length (mi)	2.813
Median Treatment	1
Directionality	0
Posted Speed	n/a
SIS	Yes
SIS Type	SIS Future Corridor
Area Type	Transition
Facility Type	Freeway
Max. Service Vol. Adjustment Factor	Null
Standard K-Factor	9%
FDOT LOS Standard	Null
Lanes 2018	0
AADT 2018	0
Peak Volume 2018	0

Attribute Value

Peak Max. Service Vol. 2018	Null
Peak LOS 2018	#N/A
Lanes 2020	0
AADT 2020	0
Peak Volume 2020	0
Peak Max. Service Vol. 2020	Null
Peak LOS 2020	#N/A
Lanes 2025	4
AADT 2025	5,100
Peak Volume 2025	459
Peak Max. Service Vol. 2025	Null
Peak LOS 2025	B
Lanes 2030	4
AADT 2030	6,167
Peak Volume 2030	555
Peak Max. Service Vol. 2030	Null
Peak LOS 2030	B
Lanes 2035	4
AADT 2035	7,233
Peak Volume 2035	651
Peak Max. Service Vol. 2035	Null
Peak LOS 2035	B
Lanes 2040	4
AADT 2040	8,300
Peak Volume 2040	747

Attribute	Value
Peak Max. Service Vol. 2040	Null
Peak LOS 2040	B
Lanes 2045	4
AADT 2045	9,367
Peak Volume 2045	843
Peak Max. Service Vol. 2045	Null
Peak LOS 2045	B
Comments	First Coast ExpressWay - Four lanes by 2025 per FCX (new road construction). LOS calculated with seg. in place by 2025. This seg. is on advancing request ph. for 2019 WP cycle. Approval pending for adoption into LRTP for 2017, please check for updates.
Google Street View	http://maps.google.com/maps?q=&layer=c&cbll=30.0012174623461,-81.7708090367672

FDOT D2 LOS Report
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Level of Service Segments

Attribute	Value
Segment Description	SR 23 / First Coast Expwy. from Oakleaf Plantation Pkwy. to Clay/Duval Co. Line
County	Clay
Roadway	SR 23 / First Coast Expwy.
Segment Extent	Oakleaf Plantation Pkwy. to Clay/Duval Co. Line
Segment ID	302
Location	Clay County
Roadway ID	71393000
Begin MP	0
End MP	2.275
Segment Length (mi)	2.275
Median Treatment	0
Directionality	0
Posted Speed	45-65 mph
SIS	Yes
SIS Type	SIS Future Corridor
Area Type	Urbanized
Facility Type	Highway
Max. Service Vol. Adjustment Factor	0
Standard K-Factor	9%
FDOT LOS Standard	D
Lanes 2018	4
AADT 2018	23,000
Peak Volume 2018	2,070

Attribute Value

Peak Max. Service Vol. 2018	5,900
Peak LOS 2018	B
Lanes 2020	4
AADT 2020	22,673
Peak Volume 2020	2,041
Peak Max. Service Vol. 2020	6,700
Peak LOS 2020	B
Lanes 2025	4
AADT 2025	30,860
Peak Volume 2025	2,777
Peak Max. Service Vol. 2025	6,700
Peak LOS 2025	B
Lanes 2030	4
AADT 2030	36,327
Peak Volume 2030	3,269
Peak Max. Service Vol. 2030	6,700
Peak LOS 2030	B
Lanes 2035	4
AADT 2035	41,793
Peak Volume 2035	3,761
Peak Max. Service Vol. 2035	6,700
Peak LOS 2035	B
Lanes 2040	4
AADT 2040	47,260
Peak Volume 2040	4,253

Attribute	Value
Peak Max. Service Vol. 2040	6,700
Peak LOS 2040	C
Lanes 2045	4
AADT 2045	52,727
Peak Volume 2045	4,745
Peak Max. Service Vol. 2045	6,700
Peak LOS 2045	C
Comments	<Null>
Google Street View	http://maps.google.com/maps?q=&layer=c&cbl=30.1730662355349,-81.8314627627484

FDOT D2 LOS Report
An Interactive Mapping and Reporting Application

Level of Service Segments

Attribute	Value
Segment Description	SR 23 / First Coast Expwy. from SR 16 to US17
County	Clay
Roadway	SR 23 / First Coast Expwy.
Segment Extent	SR 16 to US17
Segment ID	9,996
Location	Clay County
Roadway ID	71493000
Begin MP	17.079
End MP	23.947001
Segment Length (mi)	6.868
Median Treatment	1
Directionality	0
Posted Speed	n/a
SIS	Yes
SIS Type	SIS Future Corridor
Area Type	Transition
Facility Type	Freeway
Max. Service Vol. Adjustment Factor	Null
Standard K-Factor	9%
FDOT LOS Standard	Null
Lanes 2018	0
AADT 2018	0
Peak Volume 2018	0

Attribute Value

Peak Max. Service Vol. 2018	Null
Peak LOS 2018	#N/A
Lanes 2020	0
AADT 2020	0
Peak Volume 2020	0
Peak Max. Service Vol. 2020	Null
Peak LOS 2020	#N/A
Lanes 2025	4
AADT 2025	4,000
Peak Volume 2025	360
Peak Max. Service Vol. 2025	Null
Peak LOS 2025	B
Lanes 2030	4
AADT 2030	5,100
Peak Volume 2030	459
Peak Max. Service Vol. 2030	Null
Peak LOS 2030	B
Lanes 2035	4
AADT 2035	6,200
Peak Volume 2035	558
Peak Max. Service Vol. 2035	Null
Peak LOS 2035	B
Lanes 2040	4
AADT 2040	7,300
Peak Volume 2040	657

Attribute	Value
Peak Max. Service Vol. 2040	Null
Peak LOS 2040	B
Lanes 2045	4
AADT 2045	8,400
Peak Volume 2045	756
Peak Max. Service Vol. 2045	Null
Peak LOS 2045	B
Comments	First Coast ExpressWay - Four lanes by 2025 per FCX (new road construction). LOS calculated with seg. in place by 2025. This seg. is on advancing request ph. for 2019 WP cycle. Approval pending for adoption into LRTP for 2017, please check for updates.
Google Street View	http://maps.google.com/maps?q=&layer=c&cbll=29.9450146102147,-81.7242561200839

FDOT D2 LOS Report
 An Interactive Mapping and Reporting Application

Level of Service Segments

Attribute	Value
Segment Description	SR 23 / First Coast Expwy. from SR 21 / Blanding Blvd to Henley Rd
County	Clay
Roadway	SR 23 / First Coast Expwy.
Segment Extent	SR 21 / Blanding Blvd to Henley Rd
Segment ID	9,999
Location	Clay County
Roadway ID	71493000
Begin MP	6.313
End MP	9.202
Segment Length (mi)	2.889
Median Treatment	1
Directionality	0
Posted Speed	n/a
SIS	Yes
SIS Type	SIS Future Corridor
Area Type	Urbanized
Facility Type	Freeway
Max. Service Vol. Adjustment Factor	Null
Standard K-Factor	9%
FDOT LOS Standard	Null
Lanes 2018	0
AADT 2018	0
Peak Volume 2018	0

Attribute	Value
Peak Max. Service Vol. 2018	Null
Peak LOS 2018	#N/A
Lanes 2020	0
AADT 2020	0
Peak Volume 2020	0
Peak Max. Service Vol. 2020	Null
Peak LOS 2020	#N/A
Lanes 2025	4
AADT 2025	6,100
Peak Volume 2025	549
Peak Max. Service Vol. 2025	Null
Peak LOS 2025	B
Lanes 2030	4
AADT 2030	9,033
Peak Volume 2030	813
Peak Max. Service Vol. 2030	Null
Peak LOS 2030	B
Lanes 2035	4
AADT 2035	11,967
Peak Volume 2035	1,077
Peak Max. Service Vol. 2035	Null
Peak LOS 2035	B
Lanes 2040	4
AADT 2040	14,900
Peak Volume 2040	1,341

Attribute	Value
Peak Max. Service Vol. 2040	Null
Peak LOS 2040	B
Lanes 2045	4
AADT 2045	17,833
Peak Volume 2045	1,605
Peak Max. Service Vol. 2045	Null
Peak LOS 2045	B
Comments	First Coast ExpressWay - Four lanes by 2025 per FCX (new road construction). LOS calculated with seg. in place by 2025. This seg. is on advancing request ph. for 2019 WP cycle. Approval pending for adoption into LRTP for 2017, please check for updates.
Google Street View	http://maps.google.com/maps?q=&layer=c&cbll=30.0797439825294,-81.8297545780703

FDOT D2 LOS Report
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Level of Service Segments

Attribute	Value
Segment Description	SR 23 / First Coast Expwy. from US 17 to St Johns County Line
County	Clay
Roadway	SR 23 / First Coast Expwy.
Segment Extent	US 17 to St Johns County Line
Segment ID	9.995
Location	Green Cove Springs
Roadway ID	71493000
Begin MP	23.947001
End MP	27.299
Segment Length (mi)	3.352
Median Treatment	1
Directionality	0
Posted Speed	n/a
SIS	Yes
SIS Type	SIS Future Corridor
Area Type	Urbanized
Facility Type	Freeway
Max. Service Vol. Adjustment Factor	Null
Standard K-Factor	9%
FDOT LOS Standard	Null
Lanes 2018	0
AADT 2018	0
Peak Volume 2018	0

Attribute Value

Peak Max. Service Vol. 2018	Null
Peak LOS 2018	#N/A
Lanes 2020	0
AADT 2020	0
Peak Volume 2020	0
Peak Max. Service Vol. 2020	Null
Peak LOS 2020	#N/A
Lanes 2025	0
AADT 2025	0
Peak Volume 2025	0
Peak Max. Service Vol. 2025	Null
Peak LOS 2025	#N/A
Lanes 2030	6
AADT 2030	11,833
Peak Volume 2030	1,065
Peak Max. Service Vol. 2030	Null
Peak LOS 2030	B
Lanes 2035	6
AADT 2035	14,867
Peak Volume 2035	1,338
Peak Max. Service Vol. 2035	Null
Peak LOS 2035	B
Lanes 2040	6
AADT 2040	17,900
Peak Volume 2040	1,611

Attribute	Value
Peak Max. Service Vol. 2040	Null
Peak LOS 2040	B
Lanes 2045	6
AADT 2045	20,933
Peak Volume 2045	1,884
Peak Max. Service Vol. 2045	Null
Peak LOS 2045	B
Comments	First Coast ExpressWay - Six lanes by 2030 per FCX (new road construction)
Google Street View	http://maps.google.com/maps?q=&layer=c&cbll=29.9751086230152,-81.6490584183635

US 17 from Margarets Walk Rd to CR 220

Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	268							
Segment Length (miles):	3.218 mi							
Location:	Clay County							
County:	Clay							
Roadway ID:	71020000							
Begin MP:	5.042							
End MP:	8.261							
SIS:	Yes							
SIS Type:	SIS Corridor							
Median Treatment:	Divided							
Directionality:	Two-Way							
Posted Speed:	45-55 mph							
Facility Type:	Highway							
Area Type:	Urbanized							
Standard K:	9.0%							
FDOT LOS Standard:	D							
Max. Service Vol. Adj. Factor:	0.00							
Data Sources:	RCI; TCI; NERPM AB; GUATS; FLSWM							
Google Street View:	https://maps.google.com/maps?hl=en&map=30.0789457657485_-81.7067202477085							
Projected Values		2018	2020	2025	2030	2035	2040	2045
Number of Lanes		6	6	6	6	6	6	6
AADT		39,125	42,651	51,469	60,286	69,103	77,921	86,738
Peak Hour Maximum Service Volume at LOS Standard		8,840	8,840	8,840	8,840	8,840	8,840	8,840
Peak Hour Traffic Volume		3,521	3,839	4,632	5,426	6,219	7,013	7,806
Peak Hour LOS		B	B	B	C	C	D	D



Notes:

US 17 from CR 226 to CR 209 (S.C.L. of Green Cove Springs)

Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	1017							
Segment Length (miles):	3.177 mi							
Location:	Clay County							
County:	Clay							
Roadway ID:	71010000							
Begin MP:	5.859							
End MP:	9.037							
SIS:	Yes							
SIS Type:	SIS Corridor							
Median Treatment:	Divided							
Directionality:	Two-Way							
Posted Speed:	60 mph							
Facility Type:	Highway							
Area Type:	Transition							
Standard K:	9.0%							
FDOT LOS Standard:	C							
Max. Service Vol. Adj. Factor:	0.00							
Data Sources:	RCI; TCI; NERPM AB; GUATS; FLSWM							
Google Street View:	http://maps.google.com/maps?ll=29.8416307749461,-81.684226538783							
Projected Values								
Number of Lanes		4	4	4	4	4	4	4
AADT		9,873	10,696	12,756	14,816	16,876	18,936	20,996
Peak Hour Maximum Service Volume at LOS Standard		4,460	4,460	4,460	4,460	4,460	4,460	4,460
Peak Hour Traffic Volume		889	963	1,148	1,334	1,519	1,704	1,890
Peak Hour LOS		B	B	B	B	B	B	B

Notes:



US 17 from CR-220 to Creighton Road

Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	269							
Segment Length (miles):	2.758 mi							
Location:	Clay County							
County:	Clay							
Roadway ID:	71020000							
Begin MP:	8.261							
End MP:	11.019							
SIS:	Yes							
SIS Type:	SIS Corridor							
Median Treatment:	Divided							
Directionality:	Two-Way							
Posted Speed:	45-50 mph							
Facility Type:	Arterial							
Area Type:	Urbanized							
Standard K:	9.0%							
FDOT LOS Standard:	D							
Max. Service Vol. Adj. Factor:	0.00							
Data Sources: RCI; TCI; NERPMA; GUATS; FLSWM								
Google Street View:								
http://maps.google.com/maps?hl=en&layer=c&cbll=30.122238740635,-81.7043951185217								
Projected Values								
Number of Lanes		6	6	6	6	6	6	6
AADT		56,732	59,436	66,197	72,958	79,719	86,480	93,241
Peak Hour Maximum Service Volume at LOS Standard		5,390	5,390	5,390	5,390	5,390	5,390	5,390
Peak Hour Traffic Volume		5,106	5,349	5,958	6,566	7,175	7,783	8,392
Peak Hour LOS		C	D	F	F	F	F	F



Notes:



US 17 from Creighton Road to Elbow Rd

Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	942							
Segment Length (miles):	1.199 mi							
Location:	Orange Park							
County:	Clay							
Roadway ID:	71020000							
Begin MP:	11.019							
End MP:	12.218							
SIS:	Yes							
SIS Type:	SIS Corridor							
Median Treatment:	Divided							
Directionality:	Two-Way							
Posted Speed:	45-50 mph							
Facility Type:	Arterial							
Area Type:	Urbanized							
Standard K:	9.0%							
FDOT LOS Standard:	D							
Max. Service Vol. Adj. Factor:	0.00							
Data Sources:	RCI; TCI; NERPM AB; GUATS; FLSWM							
Google Street View:	https://maps.google.com/maps?hl=en&layer=c&coll=30,15073055965883,-81,7006792498254							
Projected Values								
Number of Lanes		6	6	6	6	6	6	6
AADT		56,325	58,805	65,006	71,208	77,409	83,611	89,812
Peak Hour Maximum Service Volume at LOS Standard		5,390	5,390	5,390	5,390	5,390	5,390	5,390
Peak Hour Traffic Volume		5,069	5,292	5,851	6,409	6,967	7,525	8,083
Peak Hour LOS		C	D	F	F	F	F	F



Notes:

FDOT D2 LOS Report
An Interactive Mapping and Reporting Application

Level of Service Segments

Attribute	Value
Segment Description	US 17 from N. City Limit of Green Cove Springs to Margarets Walk Rd
County	Clay
Roadway	US 17
Segment Extent	N. City Limit of Green Cove Springs to Margarets Walk Rd
Segment ID	266
Location	Clay County
Roadway ID	71020000
Begin MP	1.263
End MP	5.042
Segment Length (mi)	3.779
Median Treatment	1
Directionality	0
Posted Speed	35-55 mph
SIS	Yes
SIS Type	SIS Corridor
Area Type	Urbanized
Facility Type	Highway
Max. Service Vol. Adjustment Factor	0
Standard K-Factor	9%
FDOT LOS Standard	D
Lanes 2018	4
AADT 2018	33,571
Peak Volume 2018	3,021

Attribute Value

Peak Max. Service Vol. 2018	5,900
Peak LOS 2018	B
Lanes 2020	4
AADT 2020	36,117
Peak Volume 2020	3,251
Peak Max. Service Vol. 2020	5,900
Peak LOS 2020	B
Lanes 2025	4
AADT 2025	42,482
Peak Volume 2025	3,823
Peak Max. Service Vol. 2025	5,900
Peak LOS 2025	C
Lanes 2030	4
AADT 2030	48,847
Peak Volume 2030	4,396
Peak Max. Service Vol. 2030	5,900
Peak LOS 2030	C
Lanes 2035	4
AADT 2035	55,212
Peak Volume 2035	4,969
Peak Max. Service Vol. 2035	5,900
Peak LOS 2035	D
Lanes 2040	4
AADT 2040	61,577
Peak Volume 2040	5,542

Attribute	Value
Peak Max. Service Vol. 2040	5,900
Peak LOS 2040	D
Lanes 2045	4
AADT 2045	67,942
Peak Volume 2045	6,115
Peak Max. Service Vol. 2045	5,900
Peak LOS 2045	E
Comments	Null
Google Street View	http://maps.google.com/maps?q=&layer=c&cbll=30.028349842853,-81.70765556110402

US 17 from Putnam Co. Line to CR 226



Attribute	Value	2018	2020	2025	2030	2035	2040	2045	
Segment ID:	291	4	4	4	4	4	4	4	
Segment Length (miles):	5.859 mi	8,400	9,082	10,790	12,497	14,204	15,911	17,619	
Location:	Clay County	4,460	4,460	4,460	4,460	4,460	4,460	4,460	
County:	Clay	798	863	1,025	1,187	1,349	1,512	1,674	
Roadway ID:	71010000	B	B	B	B	B	B	B	
Begin MP:	0.000								
End MP:	5.859								
SIS:	Yes								
SIS Type:	SIS Corridor								
Median Treatment:	Divided								
Directionality:	Two-Way								
Posted Speed:	60 mph								
Facility Type:	Highway								
Area Type:	Transition								
Standard K:	9.5%								
FDOT LOS Standard:	C								
Max. Service Vol. Adj. Factor:	0.00								
Data Sources: RC; TCI; NERPM AB; GUATS; FLSWM									
Google Street View: https://maps.google.com/maps?q=31.6646973427114									
Projected Values									
Number of Lanes		4	4	4	4	4	4	4	
AADT		8,400	9,082	10,790	12,497	14,204	15,911	17,619	
Peak Hour Maximum Service Volume at LOS Standard		4,460	4,460	4,460	4,460	4,460	4,460	4,460	
Peak Hour Traffic Volume		798	863	1,025	1,187	1,349	1,512	1,674	
Peak Hour LOS		B	B	B	B	B	B	B	

Notes:

US 17 from SR 16 E to SR 16 W



Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	4624							
Segment Length (miles):	0.630 mi							
Location:	Green Cove Springs							
County:	Clay							
Roadway ID:	71010000							
Begin MP:	10.647							
End MP:	11.277							
SIS:	Yes							
SIS Type:	SIS Corridor							
Median Treatment:	Divided							
Directionality:	Two-Way							
Posted Speed:	30-45 mph							
Facility Type:	Arterial							
Area Type:	Urbanized							
Standard K:	9.0%							
FDOT LOS Standard:	D							
Max. Service Vol. Adj. Factor:	0.00							
Data Sources:	RCI; TCI; NERPM AB; GUATS; FLSWM							
Google Street View:	http://maps.google.com/maps?z=14&view=c&cbll=29.8876302028268,-81.6773528949144							
Projected Values								
Number of Lanes		4	4	4	4	4	4	4
AADT		22,274	23,601	26,919	30,237	33,556	36,874	40,192
Peak Hour Maximum Service Volume at LOS Standard		3,580	3,580	3,580	3,580	3,580	3,580	3,580
Peak Hour Traffic Volume		2,005	2,124	2,423	2,721	3,020	3,319	3,617
Peak Hour LOS		C	C	C	C	C	C	F

Notes:

FDOT D2 LOS Report
An Interactive Mapping and Reporting Application

Level of Service Segments

Attribute	Value
Segment Description	US 17 from Elbow Rd to SR 224 / Kingsley Ave
County	Clay
Roadway	US 17
Segment Extent	Elbow Rd to SR 224 / Kingsley Ave
Segment ID	943
Location	Orange Park
Roadway ID	71020000
Begin MP	12.218
End MP	12.65
Segment Length (mi)	0.432
Median Treatment	1
Directionality	0
Posted Speed	40-45 mph
SIS	Yes
SIS Type	SIS Corridor
Area Type	Urbanized
Facility Type	Arterial
Max. Service Vol. Adjustment Factor	0
Standard K-Factor	9%
FDOT LOS Standard	D
Lanes 2018	6
AADT 2018	56,000
Peak Volume 2018	5,040

Attribute	Value
Peak Max. Service Vol. 2018	5,390
Peak LOS 2018	C
Lanes 2020	6
AADT 2020	58,077
Peak Volume 2020	5,227
Peak Max. Service Vol. 2020	5,390
Peak LOS 2020	C
Lanes 2025	6
AADT 2025	63,270
Peak Volume 2025	5,694
Peak Max. Service Vol. 2025	5,390
Peak LOS 2025	F
Lanes 2030	6
AADT 2030	68,462
Peak Volume 2030	6,162
Peak Max. Service Vol. 2030	5,390
Peak LOS 2030	F
Lanes 2035	6
AADT 2035	73,655
Peak Volume 2035	6,629
Peak Max. Service Vol. 2035	5,390
Peak LOS 2035	F
Lanes 2040	6
AADT 2040	78,848
Peak Volume 2040	7,096

Attribute	Value
Peak Max. Service Vol. 2040	5,390
Peak LOS 2040	F
Lanes 2045	6
AADT 2045	84,041
Peak Volume 2045	7,564
Peak Max. Service Vol. 2045	5,390
Peak LOS 2045	F
Comments	Null
Google Street View	http://maps.google.com/maps?q=&layer=c&cbll=30.1625520482506,-81.7008760226497



US 17 from SR-16 to N. City Limit (.09 m N of Governor St)

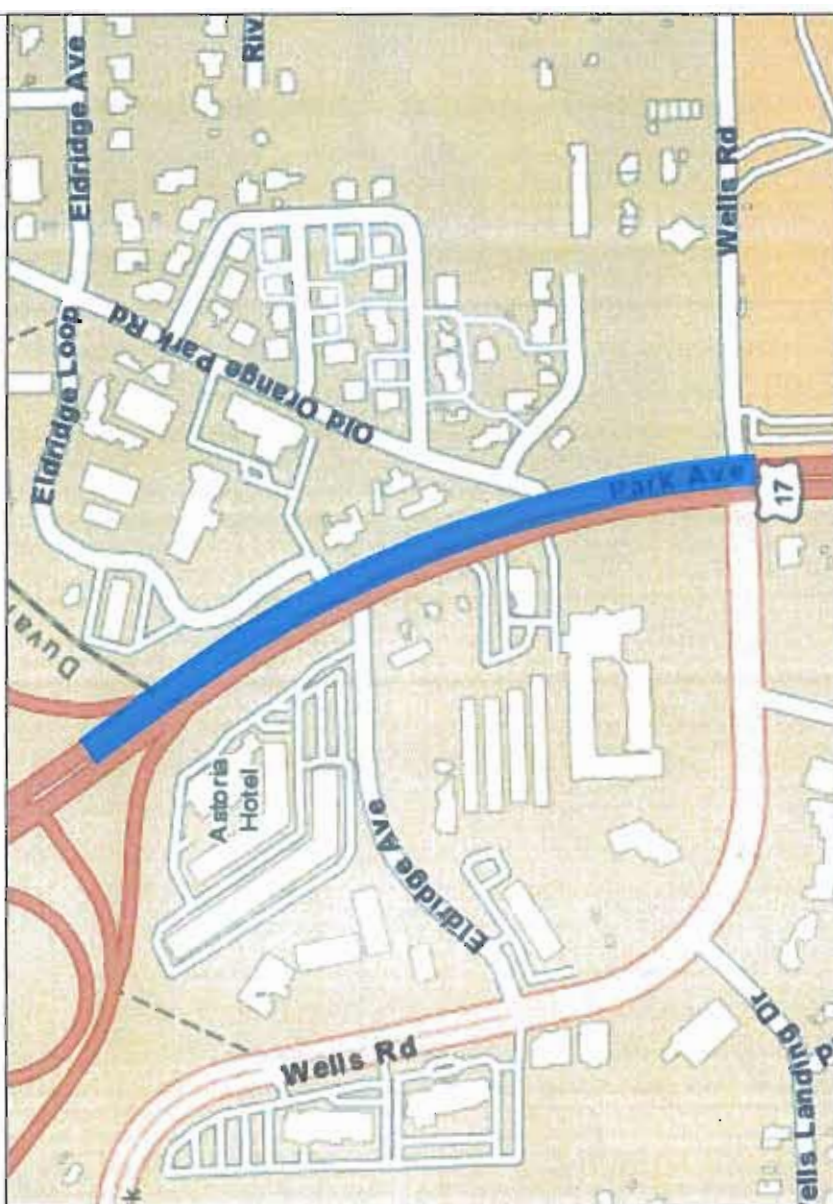
Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	625							
Segment Length (miles):	1.263 mi							
Location:	Green Cove Springs							
County:	Clay							
Roadway ID:	71020000							
Begin MP:	0.000							
End MP:	1.263							
SIS:	Yes							
SIS Type:	SIS Corridor							
Median Treatment:	Divided							
Directionality:	Two-Way							
Posted Speed:	30-35 mph							
Facility Type:	Arterial							
Area Type:	Urbanized							
Standard K:	9.0%							
FDOT LOS Standard:	D							
Max. Service Vol. Adj. Factor:	0.00							
Data Sources: RCI; TCI; NERPM AB; GUATS; FLSWM								
Google Street View: http://maps.google.com/maps?hl=en&layer=c&cbll=30.0001460202537,-81.6831769623117								
Projected Values								
Number of Lanes		4	4	4	4	4	4	4
AADT		24,705	27,022	32,816	38,610	44,404	50,198	55,992
Peak Hour Maximum Service Volume at LOS Standard		2,920	2,920	2,920	2,920	2,920	2,920	2,920
Peak Hour Traffic Volume		2,223	2,432	2,953	3,475	3,996	4,518	5,039
Peak Hour LOS		D	D	E	F	F	F	F



Notes:

US 17 from Wells Rd to Duval Co. Line

Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	945	8	8	8	8	8	8	8
Segment Length (miles):	0.368 mi	85,500	86,216	88,006	89,797	91,597	93,378	95,168
Location:	Orange Park	8,411	8,411	8,411	8,411	8,411	8,411	8,411
County:	Clay	7,695	7,759	7,921	8,082	8,243	8,404	8,565
Roadway ID:	71020000	C	C	C	C	C	D	F
Begin MP:	13.997							
End MP:	14.365							
SIS:	Yes							
SIS Type:	SIS Corridor							
Median Treatment:	Divided							
Directionality:	Two-Way							
Posted Speed:	40-45 mph							
Facility Type:	Arterial							
Area Type:	Urbanized							
Standard K:	9.0%							
FDOT LOS Standard:	D							
Max. Service Vol. Adj. Factor:	0.16							
Data Sources:	RCI; TCI; NERPM AB; GUATS; FLSWM							
Google Street View:	http://maps.google.com/maps?g_alayer=schll-30_1817865308877_-81_7025265074099							
Projected Values								
Number of Lanes								
AADT								
Peak Hour Maximum Service Volume at LOS Standard								
Peak Hour Traffic Volume								
Peak Hour LOS								



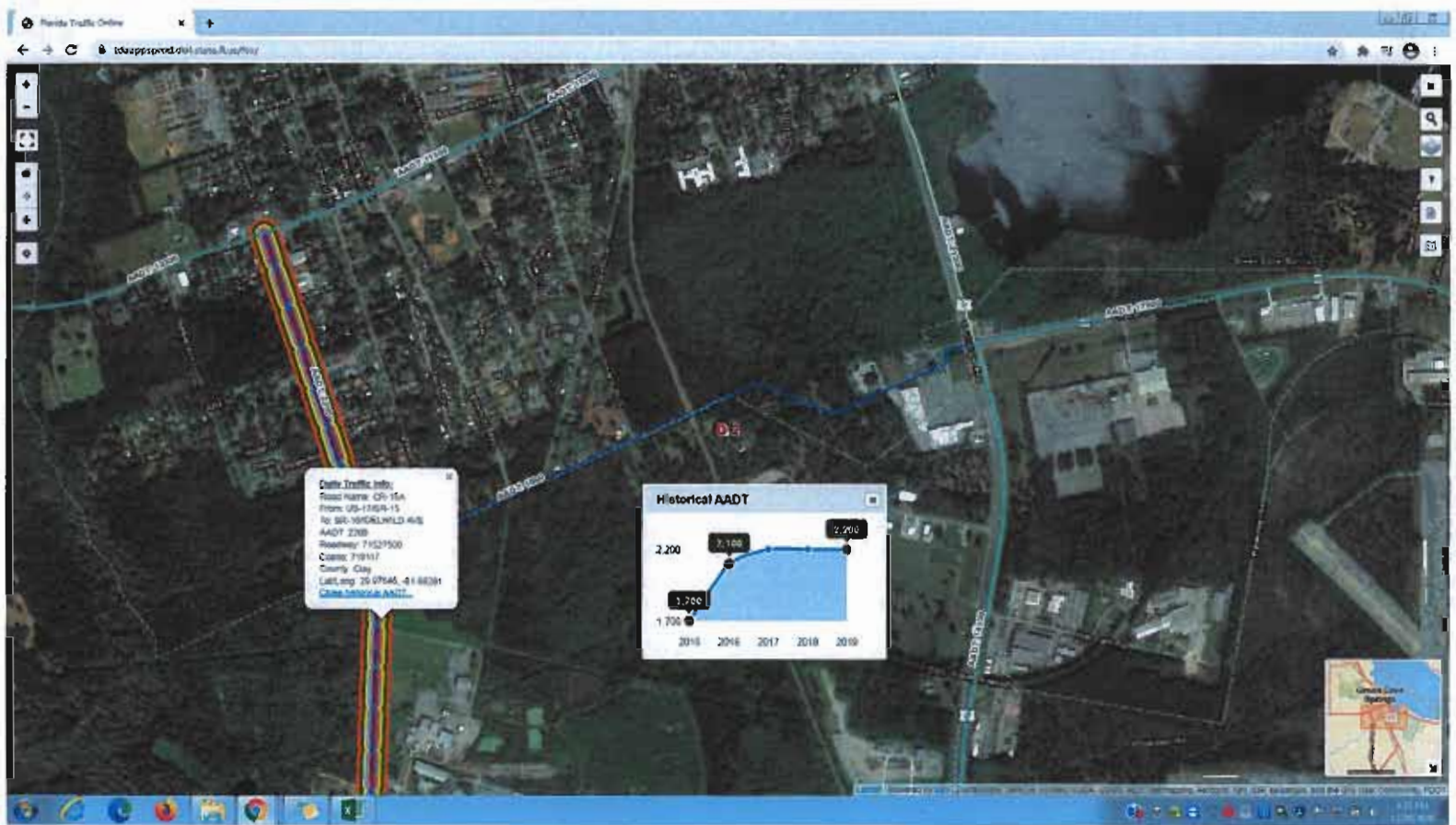
Notes: A capacity adjustment of 16.67% was applied due to the irregularity in geometry seen on this segment.

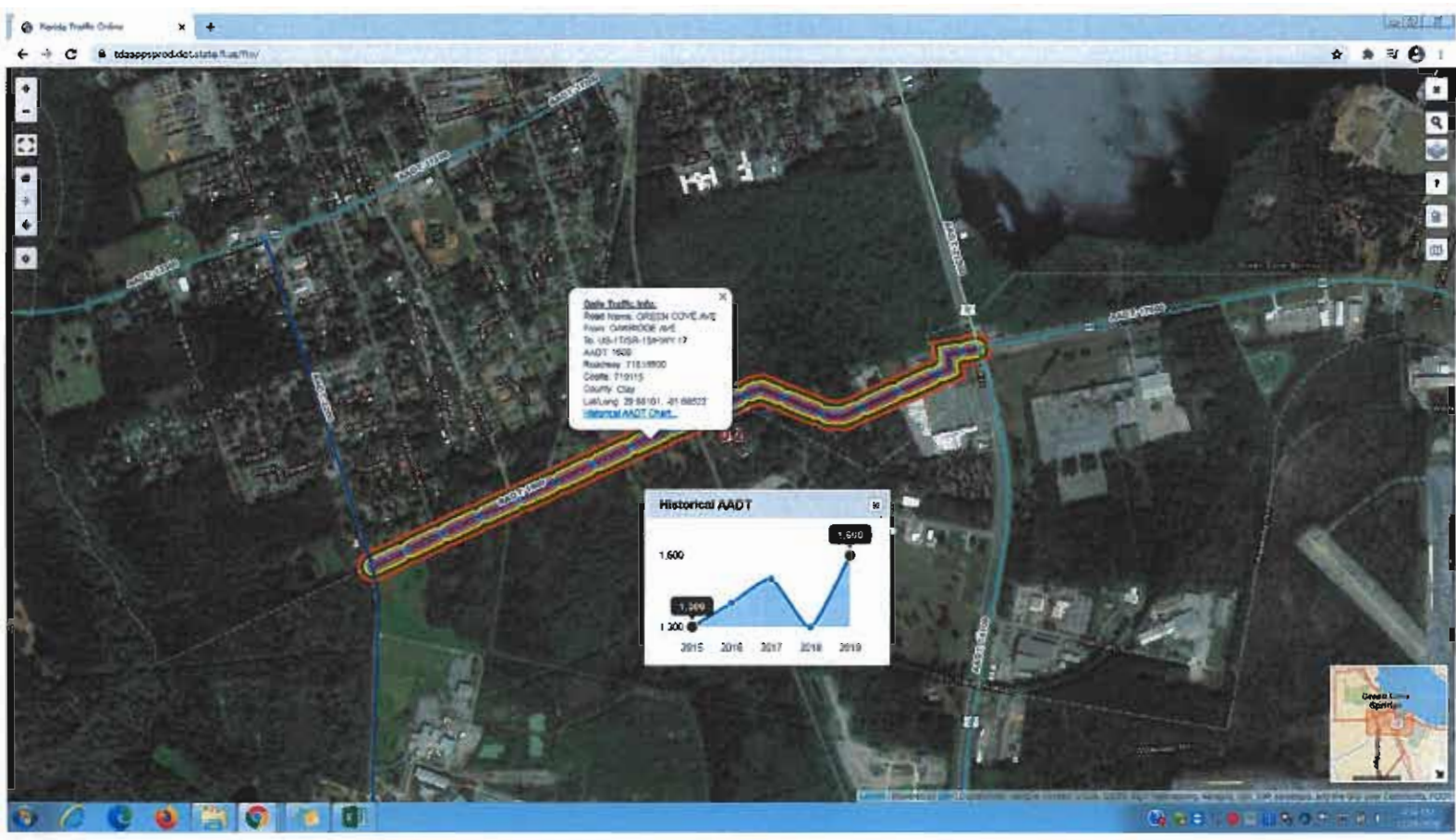


US 17 from SR 224 / Kingsley Ave to Wells Rd

Attribute	Value	2018	2020	2025	2030	2035	2040	2045
Segment ID:	944							
Segment Length (miles):	1.347 mi							
Location:	Orange Park							
County:	Clay							
Roadway ID:	71020000							
Begin MP:	12.650							
End MP:	13.997							
SIS:	Yes							
SIS Type:	SIS Corridor							
Median Treatment:	Divided							
Directionality:	Two-Way							
Posted Speed:	40 mph							
Facility Type:	Arterial							
Area Type:	Urbanized							
Standard K:	9.0%							
FDOT LOS Standard:	D							
Max. Service Vol. Adj. Factor:	0.00							
Data Sources:	RCI; TCI; NERPM AB; GUATS; FLSWM							
Google Street View:	http://maps.google.com/maps/@30.175466779824,-81.7014105219722							
Projected Values								
Number of Lanes		6	6	6	6	6	6	6
AADT		66,000	67,334	70,669	74,005	77,340	80,676	84,011
Peak Hour Maximum Service Volume at LOS Standard		5,390	5,390	5,390	5,390	5,390	5,390	5,390
Peak Hour Traffic Volume		5,940	6,060	6,360	6,660	6,961	7,261	7,561
Peak Hour LOS		F	F	F	F	F	F	F

Notes:





Attachment D

Planned and Programmed Improvements



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County Road 220 PD&E Study

- About this Project
- Photos
- Documents
- Public Events

Overview

The FDOT is conducting a Project Development and Environment (PD&E) Study to evaluate alternatives to enhance safety and provide additional capacity to meet existing and future traffic needs on CR 220. FDOT encourages you to get involved throughout the study by providing comments, concerns, questions and/or suggestions to the Study Team.

Video (<https://vimeo.com/343447112/c87592abaa>)

Project Details

Project Start: TBD
Expected Completion: TBD
Cost: TBD
Project #: 430719-2
Roads: County Road 220
Counties: Clay
Cities: Orange Park

Contact



David Tyler, P.E. (<mailto:david.tyler@dot.state.fl.us>)
 (386) 961-7842

County Road 220 PD&E Study

Overview



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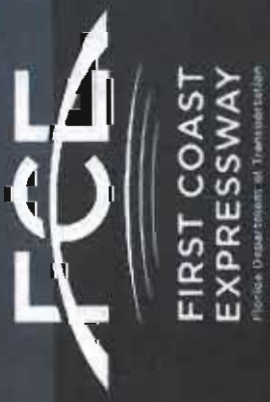
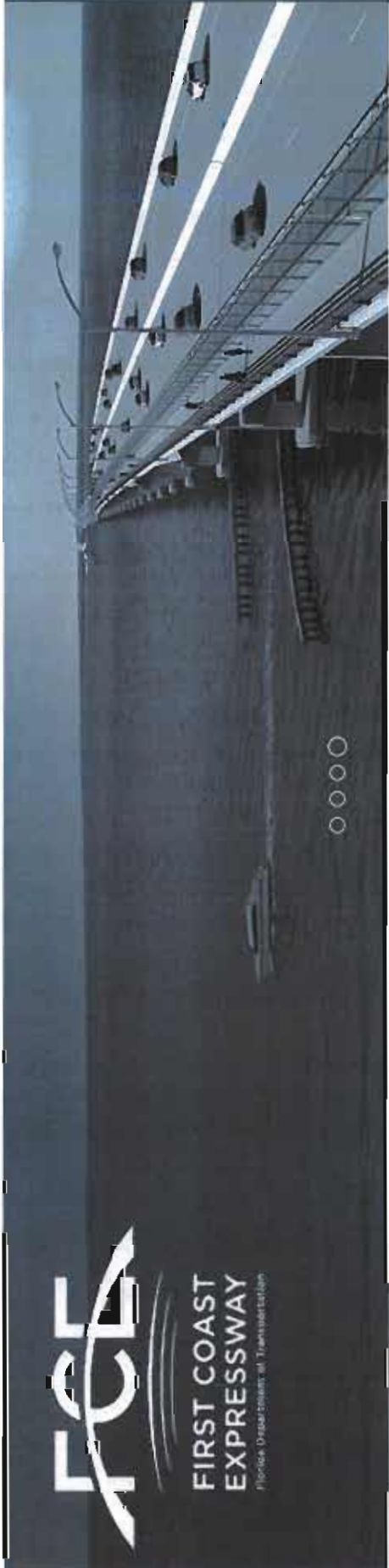
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FIRST COAST EXPRESSWAY

Florida Department of Transportation

The First Coast Expressway (FCE, SR 23) is a multi-lane, limited access toll road that, once completed, will cross parts of Duval, Clay and St. Johns counties. Expressway traffic will pass through electronic toll gantries without stopping. The gantries will contain an electronic system that will either detect the vehicle's SunPass transponder device or scan the vehicle's license plate for a toll-by-plate invoice in the mail. The total length of the proposed roadway is approximately 46 miles. The FCE will reduce congestion on other major roadways in the region, important not only for daily commuters but also critically important during times of storm-related evacuation.

Toll collection on the First Coast Expressway began in July 2019.

For questions or information regarding SunPass transponder registration, SunPass accounts or toll invoices, please contact SunPass at SunPass.com (<http://www.sunpass.com>) or 1-888-865-5352.

- List of Projects
- About
- Schedule
- Documents
- FAQ

Below are the list of individual projects. Click to learn more.

- First Coast Expressway from I-10 to N. of Argyle Forest Blvd (<http://nfroads.com/ProjectDetails?p=5003>)
- First Coast Expressway from N. of Argyle Forest Blvd to Blanding Blvd (<http://nfroads.com/ProjectDetails?p=5010>)
- First Coast Expressway from State Road 21 to North of State Road 16 (<http://nfroads.com/ProjectDetails?p=5152>)
- First Coast Expressway from North of State Road 16 to East of County Road 209 (<http://nfroads.com/ProjectDetails?p=5248>)
- First Coast Expressway – New St. Johns River Bridge (<http://nfroads.com/ProjectDetails?p=5136>)
- First Coast Expressway — East of County Road 16A Spur to I-95 (<http://nfroads.com/ProjectDetails?p=5337>)

List of Projects

Below are the list of individual projects. Click to learn more.

- First Coast Expressway from I-10 to N. of Argyle Forest Blvd (<http://nfroads.com/ProjectDetails?p=5003>)
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- First Coast Expressway from State Road 21 to North of State Road 16 (<http://nfroads.com/ProjectDetails?p=5152>)
- First Coast Expressway from North of State Road 16 to East of County Road 209 (<http://nfroads.com/ProjectDetails?p=5248>)
- First Coast Expressway – New St. Johns River Bridge (<http://nfroads.com/ProjectDetails?p=5136>)
- First Coast Expressway — East of County Road 16A Spur to I-95 (<http://nfroads.com/ProjectDetails?p=5337>)

About

Construction on the northwestern, first segment of the FCE (Blanding Boulevard/SR 21 in Clay County north to I-10/US 90 in Duval County) began in 2013 and was completed in summer 2019, with toll collection beginning July 13, 2019.

The central, second segment of the FCE project involves new roadway from Blanding Boulevard/SR 21 in Middleburg running south and then east through Green Cove Springs and includes a new bridge over Black Creek near the Byron Road/Lake Asbury community.

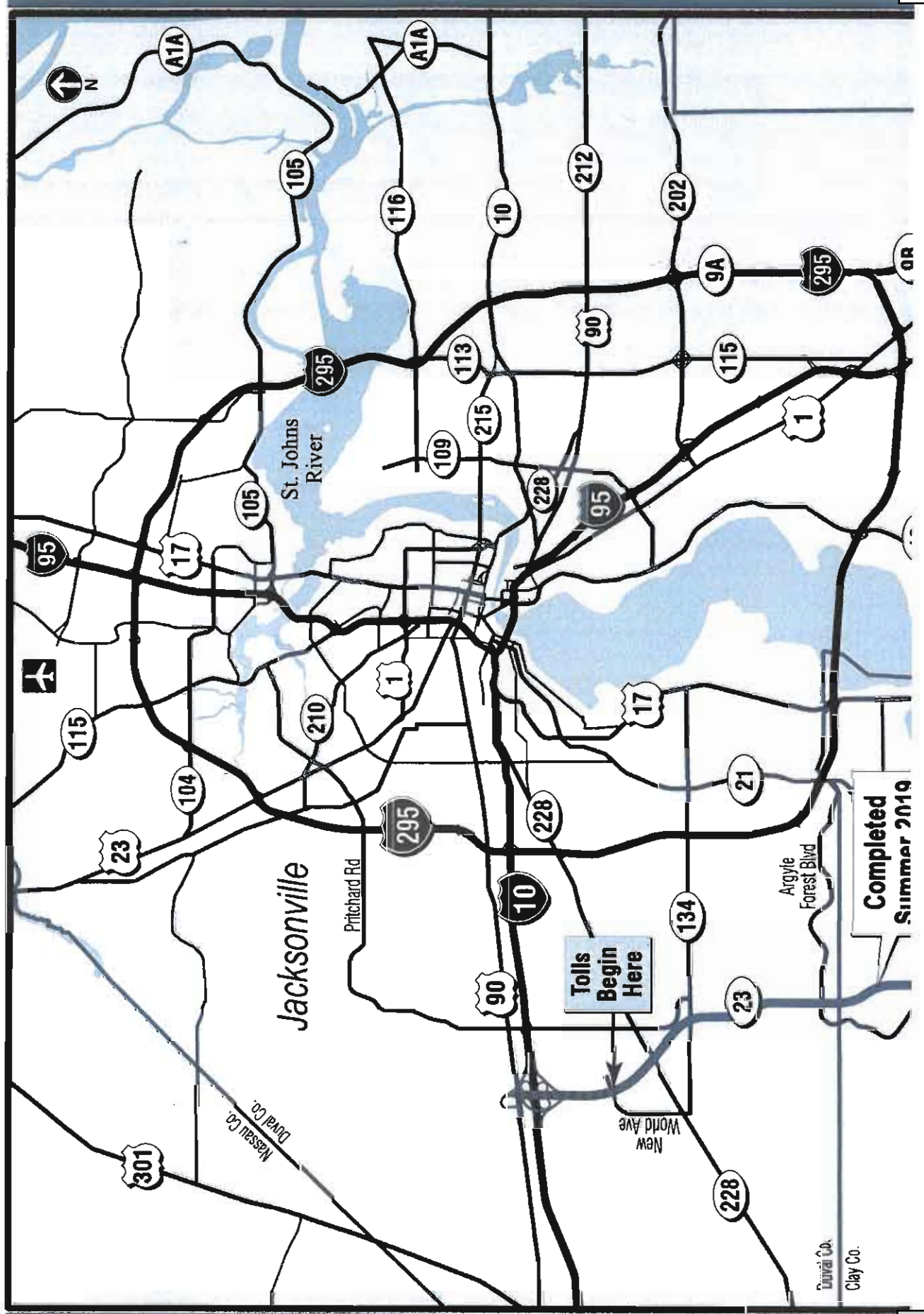
The second segment is being divided into two separate projects:

- The north project (FIN 422938-6), which runs from north of SR 16 to north of SR 21, will be built by Sacyr Construction at a cost of \$230 million. Construction began in March 2019 and is expected to be completed in 2025, weather and schedule permitting.
- The south project (FIN 422938-5), which runs from east of CR 209 to north of SR 16, will be built by Superior Construction at a cost of \$180 million. Construction began in April 2019 and is expected to be completed in 2026, weather and schedule permitting.

The third segment of the FCE is also being divided into two projects:

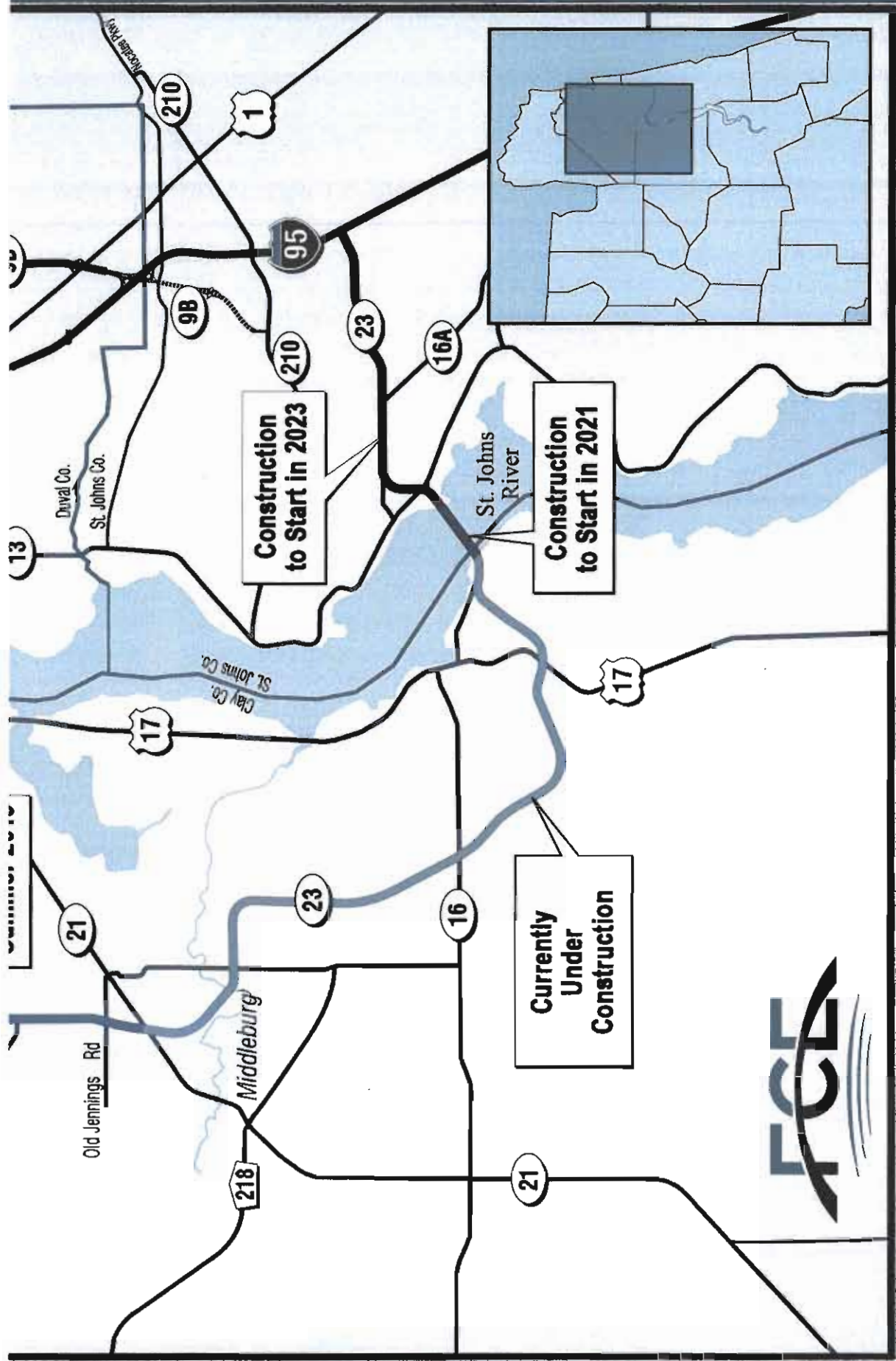
- A new bridge over the St. Johns River just south of the existing Shands Bridge (FIN 422938-7), expected to begin construction in late 2021 and be completed in 2029 at a cost of approximately \$334 million.
- New roadway from east of the County Road 16A Spur to I-95 in St. Johns County (FIN 422938-8), expected to begin construction in early 2023 and be completed in early 2030 at a cost of approximately \$303 million.

FCE



1/4/2021

FCE



1/4/2021



Contact

Sara Pleasants (mailto:Sara.pleasants@dot.state.fl.us)
386-269-3490



View FCE Map with Tolls (FirstCoastExpressway/documents/2017-01-19-updated-fce-map-with-tolls.pdf)



View more information on being a SunPass user (<https://www.sunpass.com/en/home/index.shtml>)

Schedule

FCE Segment 1

Completion Date

FCE South Project (Blanding Blvd to North of Argyle Blvd.)	Summer 2019
FCE North Project (North of Argyle Blvd. to I-10)	Summer 2019
FCE Extension Project (I-10 to Beaver Street/US 90)	Summer 2018

FCE Segment 2

Est. Completion Date

Start Date

FCE North (Blanding Blvd. in Middleburg to North of SR 16 in Green Cove Springs)	March 2019	2025
FCE South (North of SR 16 to South of U.S. 17 by river in Green Cove Springs)	April 2019	2026

FCE Segment 3

Est. Completion Date

Est. Start Date

New bridge over St. Johns River	2022	2029
New roadway from east of the County Road 16A Spur to I-95 in St. Johns County	2023	2030

Documents

Document Name:	Date:
FCE Whole US 90 to SR 21 Map (FirstCoastExpressway/documents/2018-03-22-whole-fce-us-90-to-sr-21-map-2.pdf)	03/22/18
FCE Full Project Route Map (PIM) (FirstCoastExpressway/documents/FCE PIM 2019-08-23.pdf)	08/23/19
Aerial of Entire FCE Project (FirstCoastExpressway/documents/2017-02-14-sr-23-w-aerial.pdf)	02/14/17
Project Map from I-10 to Blanding Boulevard (FirstCoastExpressway/documents/2017-01-23-first-coast-i-10-to-sr-21.pdf)	01/23/17
FCE Map with Tolls (FirstCoastExpressway/documents/2017-01-19-updated-fce-map-with-tolls.pdf)	01/19/17
Public Meeting Handout (FirstCoastExpressway/documents/2015-12-10-public-meeting-handout.pdf)	12/10/15
Board 1 - Project Location Map (FirstCoastExpressway/documents/2016-03-24-fcx-board-project-location-map.pdf)	12/10/15
Board 2 - Project Details (FirstCoastExpressway/documents/2015-12-10-fcx-board-project-details.pdf)	12/10/15
Governor Invests \$9.9 Billion for Transportation Improvements (English) (FirstCoastExpressway/documents/2015-01-fdot-gov-scott-budget.pdf)	01/28/15
Governor Invests \$9.9 Billion for Transportation Improvements (Spanish) (FirstCoastExpressway/documents/2015-01-fdot-gov-scott-budget-spanish.pdf)	01/28/15
St. Johns River Crossing Record of Decision (FirstCoastExpressway/documents/2014-04-07-st-johns-river-crossing-record-of-decision.pdf)	04/07/14
St. Johns River Crossing Final Environmental Impact Statement (FirstCoastExpressway/documents/2013-10-11-st-johns-river-crossing-final-environmental-impact-statement.pdf)	10/11/13
Pile Driving Video (https://vimeo.com/275861894/8efd7e71d0)	5/17/19
FCE Full Project Map with Construction Timeline (FirstCoastExpressway/images/SR 23 FCE_Entire Project_LocationMap 11-24-20.jpg)	11/24/20

Project Maps



FCE Project Maps - Click to download (FirstCoastExpressway/documents/FCE PIM 2019-08-23.pdf)



View more information on being a SunPass user (<http://www.sunpass.com>)

FAQ

- What is a limited access highway?
- What portion of the roadway will be tolled?
- When will tolls start being collected?
- Won't tolls cause Congestion? Will I have to stop to pay a toll?
- What will the toll be?
- Under what circumstances could these toll rates be raised?
- Can I get a discount on the toll if I am a frequent traveler?
- What are the free routes which motorists can use to avoid paying tolls?
- Where is the money coming from to build this road?
- How does the toll bonding/construction cost funding system work?

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I-295 at U.S. 17 Interchange Improvements

- About this Project
- Photos
- Documents
- Public Events

Overview

The Florida Department of Transportation is conducting a Project Development & Environment (PD&E) Study for proposed widening and reconstruction of U.S. 17 (S.R. 15) from south of the Wells Road Intersection to Birmingham Avenue, a distance of 3 miles, in Clay and Duval Counties. Additional improvements include ramp and intersection improvements at U.S. 17 and the I-295 off ramps, Eldridge Avenue, Old Orange Park Road, and Wells Road. Traffic operations within the project study area show excessive delay and heavy queuing at the intersections along U.S. 17 during peak hours as well as at the on and off-ramps to I-295. With expectations of continued traffic operation issues, this PD&E study is investigating alternatives to meet capacity needs, intersection operations, and safety within the study area.

Project Details

Project Start: 2022
Expected Completion: TBD
Cost: \$13.7 million
Project #: 4355751
Roads: Interstate 295, U.S. 17
Counties: Clay, Duval
Cities:

Contact



Sara Pleasants (mailto:Sara.pleasants@dot.state.fl.us)
 386-269-3490

I-295 at U.S. 17 Interchange Improvements



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First Coast Expressway from North of State Road 16 to East of County Road 209

- About this Project
- Traffic Alerts
- Photos
- Documents
- Public Events

Overview

Superior Construction is the contractor for the First Coast Expressway/State Road 23 from east of County Road 209 to north of State Road 16 in Clay County (9.7 miles).

Construction activities:

- Constructing 9.7 miles of new multi-lane, limited access toll road
- Constructing a drainage system for the new roadway, including a series of storm water ponds
- Installing traffic signals, lighting, highway signing and guardrails
- Building 15 new bridges
- Constructing two new toll facilities featuring overhead gantries with electronic tolling just west of County Road 15A and east of County Road 209.

Project Details

Project Start:	Spring 2019
Expected Completion:	2028
Cost:	\$180 million
Project #:	422938-5
Roads	State Road 13, State Road 16, State Road 23
Counties	Clay
Cities	

Contact



Sara Pleasants (mailto:Sara.pleasants@dot.state.fl.us)
386-269-3490



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First Coast Expressway from State Road 21 to North of State Road 16

About this Project Traffic Alerts Photos Documents Public Events

Overview

Sacyr Construction began construction March 4, 2019 on the second phase of the First Coast Expressway (State Road 23) from north of State Road 16 to just north of Blanding Boulevard (State Road 21) through Clay County (10.5 miles)

Construction activities include:

Adding 10.5 miles of new multi-lane, limited access toll roadway to State Road 23

Constructing a drainage system for the new roadway with a series of storm water ponds

Installing new lighting, highway signing and guardrails

Building three new tolling facilities with overhead gantries and electronic tolling east of Baxley Road, west of the County Road 218 exit and just west of the State Road 16 exit

Building 26 bridges along the roadway, including two new bridges over Black Creek in the Lake Asbury community

Building noise walls south of Sandridge Road in the Rolling Hills Community

Constructing retaining walls along State Road 23

Traffic impacts:

Due to active sidewalks in the area, the contractor will be required to make necessary accommodations for pedestrians and physically handicapped during construction

Sacyr Construction will construct temporary access points at State Road 16 and State Road 21

Project Details

Project Start: March 2019

Expected Completion: 2025

Cost: \$229 million

Project #: 422938-6

Roads: State Road 16, State Road 23

Counties: Clay

Cities:



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First Coast Expressway – New St. Johns River Bridge

- About this Project
- Photos
- Documents
- Public Events

Overview

The third and final segment of the FCE includes a new four-lane bridge over the St. Johns River just south of where the Shands Bridge currently stands. Construction on the new bridge is expected to begin in 2022 and be completed in 2029 at a cost of approximately \$334 million. The vertical clearance height of the new bridge will be 65 feet from the water line, compared to the existing 45 feet of clearance. The additional 20 feet will match the Buckman Bridge's clearance and is an improvement for marine commerce in the region.

Project Details

Project Start: 2022

Expected Completion: 2029

Cost: \$334 million

Project #: 422938-7

Roads: State Road 23

Counties: Clay, St. Johns

Cities:

Contact



Sara Pleasants (mailto:Sara.pleasants@dot.state.fl.us)
386-269-3490

First Coast Expressway – New St. Johns River Bridge

Overview

RESOLUTION #2019/2020-67

A RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF CLAY COUNTY, FLORIDA, AMENDING SECTION II OF TABLE 1, THE NON-CAPITAL IMPROVEMENT ELEMENT IMPROVEMENTS, AND AMENDING TABLE 2, THE REVENUE SOURCES RELATING THERETO, BOTH OF WHICH ARE PART OF THE CLAY COUNTY CAPITAL IMPROVEMENTS PROGRAM; PROVIDING AN EFFECTIVE DATE.

Recitals

WHEREAS, on June 26, 2018, the Board of County Commissioners of Clay County, Florida (the Board), adopted Ordinance No. 2018-31, which adopted the Clay County 2040 Comprehensive Plan, as amended (the Plan); and

WHEREAS, Policy 1.1.2 of the Capital Improvements Element (CIE) of the Plan directs the County to monitor capital facilities to identify deficiencies, to evaluate whether improvements have met demands, and to identify needed maintenance; and

WHEREAS, certain tables are included in the CIE and contain both CIE improvements and Non-CIE improvements, as well as revenue sources for each, and together they make up the County's Capital Improvements Program; and;

WHEREAS, the table attached and incorporated herein as Exhibit A entitled "Clay County Capital Improvements" (Table 1), contains CIE improvements in Section I and Non-CIE improvements in Section II thereof; and

WHEREAS, the table attached and incorporated herein as Exhibit B entitled "Clay County Capital Program Revenue Sources" (Table 2), specifies revenue sources for both CIE improvements and Non-CIE improvements; and

WHEREAS, amendments to the list of Non-CIE improvements in Section II of Table 1 and related changes to the revenue sources in Table 2 may be accomplished by resolution.

Be It Resolved by the Board of County Commissioners of Clay County:

Section 1.

Section II of Table 1 is amended as set forth in Exhibit A in order to make necessary changes as directed by the Board.

Section 2.

Table 2 is amended as set forth in Exhibit B in order to make it consistent with Section II of Table 1.

Section 3.

With respect to the Tables referenced in Section 1 and Section 2 above, the legal effect of this Resolution is that upon its effective date:

- (A) Funds for capital projects identified in the Tables shall only be expended consistent therewith; and
- (B) To the extent that corrections, updates, and modifications concerning costs, revenue sources, and acceptance of facilities pursuant to dedications which are inconsistent with the Tables, or a change in the date of construction of the capital projects identified in the Tables are proposed, such may only be implemented by amendment hereto; and
- (C) Nothing in this Resolution shall have any effect on the improvements listed in Section I of Table 1. This Resolution shall be construed only to amend Section II of Table 1 and the related revenue sources in Table 2.

Section 4.

The revisions to the reserves, revenues, and appropriations for the Capital Improvement Project Fund set forth above are more particularly identified in the budget transfer form attached as Exhibit C.

Section 5.

This resolution shall take effect immediately upon its adoption.

DULY ADOPTED, by the Board of County Commissioners, Clay County, Florida,
this 12th day of May, 2020.

BOARD OF COUNTY COMMISSIONERS
OF CLAY COUNTY, FLORIDA

By: 
Gayward F. Hendry, Its Chairman

ATTEST:



Howard Wanamaker, County Manager and
Clerk of the Board of County Commissioners

Exhibit A
Table I. Clay County Capital Improvements
CLAY COUNTY, FLORIDA
FY 2019-20
CIP
BCC - True Up 5/12/20

		2019-20	2020-21	2021-22	2022-23	2023-24
		Budget	Budget	Budget	Budget	Budget
Section I COMPREHENSIVE PLAN CAPITAL IMPROVEMENTS						
<u>Traffic Circulation Element</u>						
6076A	Atlantis Drive (State Funded)	2,843,760	-	-	-	-
6083	CR 218 Extension	-	9,000,000	-	-	-
6065	CR 220 (CR209 to Knight Boxx)	2,713,690	-	-	-	-
6064B	Tynes Blvd Ext.	152,759	-	-	-	-
6094	CR 315C - CR 214 (State Funded)	3,083,887	-	-	-	-
6095	CR224 (College) RR-CR-220 to SR-21 Blanding (RW widening)	4,010,382	-	-	-	-
7084	Intersection Improvement/Minor Capacity	500,000	500,000	500,000	500,000	500,000
6096	State Road 23 Access/Frontage Roads	680,727	-	-	-	-
6096A	State Road 23/Frontage Trail Ridge	3,000,000	-	-	-	-
6098	County Road 220 RRR - Swimming Pen Creek to US 17	3,580,699	-	-	-	-
Total Capital Improvement Plan Improvements		20,565,904	9,500,000	500,000	500,000	500,000
Section II NON-PLAN CAPITAL IMPROVEMENTS						
<u>Transportation</u>						
6059	Equipment - Transportaton	2,123,515	1,452,000	387,714	1,082,250	500,000
6093	Bridge Improvements	500,000	500,000	-	-	-
	Oakleaf Plantation/Eagle Landing Signal	-	500,000	-	-	-
<u>Parks and Recreation</u>						
	Fairgrounds Master Plan Improvements	-	2,510,000	-	-	-
6058	Parks and Recreation Equipment	65,000	-	-	-	-
6062	Multipurpose Field @ Fleming Island (FLAA)	300,000	-	-	-	-
6063	Fleming Island Baseball Park	814,593	-	-	-	-
6068	Omega Park	103,783	-	-	-	-
6088	Keystone Heights Trailhead*	46,000	-	-	-	-
<u>Environmental</u>						
	Animal Services - Building	-	714,000	4,789,500	2,236,000	-
6051	Equipment - Animal Services	-	-	-	-	-
<u>Public Safety</u>						
6049	Public Safety Training Facility	153,000	408,000	4,532,000	-	-
6107	Burn Building	-	-	-	135,200	-
6106	Gun Range	150,000	1,816,000	2,532,000	2,201,600	-
6054	800 MHz	4,225,867	-	-	-	-
6055	Station 11 Replacment	47,120	-	-	-	-
6089	Fire Station 20 - GCS	3,330,000	-	-	-	-
	Fire Station 15	-	-	309,000	3,120,000	-
	Fire Station 17	-	-	-	312,000	4,500,000
6057	Equipment - Public Safety	3,544,563	1,077,148	1,494,976	2,864,527	1,703,027
6078	Sheriff Capital Equipment & Vehicles	1,924,930	1,326,000	1,545,000	1,560,000	1,640,000
<u>Public Works</u>						
27	Road Resurfacing	6,568,344	4,000,000	4,000,000	4,000,000	4,000,000
6005	Road Paving	1,084,787	500,000	500,000	500,000	500,000
6040	Drainage Storm Water	1,969,599	1,000,000	400,000	400,000	400,000
6080	Public Works Building	1,131,620	-	-	-	-
6090	Infrastructure Studies	205,400	211,200	-	-	-
7086	Indigo Branch Drainage	-	3,000,000	-	-	-
	Moody Ave - Drainage Improvement	-	216,240	-	-	-
6092A	Ridaught Landing Drainage Improvements	31,364	-	-	-	-
6092F	Greenwood Drainage Improvements	136,280	-	-	-	-
6092C	Knight Box and CR220 Drainage Improvements	126,262	-	-	-	-
6092D	Tumbleweed Dr - Tanglewood Village Drainage Improv	42,138	-	-	-	-

Exhibit A
Table 1. Clay County Capital Improvements
CLAY COUNTY, FLORIDA
FY 2019-20
CIP
BCC - True Up 5/12/20

		2019-20	2020-21	2021-22	2022-23	2023-24
		Budget	Budget	Budget	Budget	Budget
Other Projects						
6056	Equipment-General Government	553,396	500,000	500,000	500,000	500,000
6067	Fairgrounds Improvements	938,050	-	-	-	-
6067A	Fairgrounds Improvements - FDACS FG Exhibit Hall Remodeling	500,000	-	-	-	-
6079	Equipment-Libraries	-	-	-	-	-
7083	Equipment-Extension Services	31,500	-	-	-	-
6042	School Board Aid	1,600,000	-	-	-	-
7087	Municipal Grants *	330,000	-	-	-	-
Debt Service						
4205	Debt Financing - transfer to Debt Service Fund	-	-	-	-	-
Total Non-Plan Improvements		32,577,111	19,730,588	20,990,190	18,911,577	13,743,027
Grand Total - Improvements		53,143,015	29,230,588	21,490,190	19,411,577	14,243,027

Includes \$7,000,000 in Developer Funding and \$2,000,000 in County Funding.

True Up Changes

Now from 10 yr

Exhibit B
Table 2. Clay County Capital Program Revenue Sources
CLAY COUNTY, FLORIDA
Revenue Analysis for Capital Improvement Element
CIP
FY 2019-20
BCC - True Up 5/12/20

	2019-20 Budget	2020-21 Budget	2021-22 Budget	2022-23 Budget	2023-24 Budget
Revenues					
Prior Year Carry Forward	43,646,472	21,330,627	12,966,465	6,164,337	1,830,597
Local Option Sales Tax Receipts	8,015,256	-	-	-	-
Transfer In from Fund 120 - ISS Revenue Fund	9,619,052	11,802,815	12,206,137	12,621,035	13,037,920
2nd Local Option Gas Tax Receipts	3,110,500	3,151,253	3,244,390	3,239,781	3,304,577
Interest Earnings	115,000	10,000	10,000	10,000	10,000
Subtotal	64,506,280	36,294,695	28,426,992	22,035,153	18,183,094
Other Revenues					
Interfund Transfer	591	591	591	591	591
State Grant - Atlantis Dr	2,065,000	-	-	-	-
State Grant - FDACS Fairgrounds Project	500,000	-	-	-	-
State Grant - 315C	2,614,325	-	-	-	-
State Grant - SR23/Frontage Trail Ridge	3,000,000	-	-	-	-
Federal Grant - Ridaught Landing Drainage	23,523	-	-	-	-
Federal Grant - Knight Box CR222 Drainage Improvements	94,696	-	-	-	-
Federal Grant - Tumblewood Dr Tanglewood Drainage Improvements	31,603	-	-	-	-
Federal Grant - Greenwood Drainage Improvements	102,210	-	-	-	-
Developer Funding	-	7,000,000	-	-	-
Subtotal	8,431,948	7,000,591	591	591	591
Total Funds	72,938,228	43,295,286	28,427,583	22,035,744	18,183,685
Less 5% of Revenues	(1,464,588)	(1,098,233)	(773,056)	(793,570)	(817,654)
Total Revenues Available to County	71,473,640	42,197,053	27,654,527	21,242,174	17,366,031
Expenditures					
Plan Improvements	20,565,904	9,500,000	500,000	500,000	500,000
Non-Plan Improvements	32,577,111	19,730,588	20,990,190	18,911,577	13,743,027
Total	53,143,015	29,230,588	21,490,190	19,411,577	14,243,027
Excess of Revenues Over Expenditures					
Annually (total funds less expenditures)	19,795,213	14,064,698	6,937,393	2,624,167	3,940,658
Over (Under) 95 Percent	18,330,625	12,966,465	6,164,337	1,830,597	3,123,004

Includes \$7,000,000 in Developer Funding and \$2,000,000 in County Funding.

True Up Changes

New from 10 yr

EXHIBIT C

CLAY COUNTY BOARD OF COUNTY COMMISSIONERS
 BUDGET TRANSFER AUTHORIZATION (TRANSFER OF APPROPRIATIONS)

FY 19/20

TYPE OF REQUEST:

- Transfer within same Cost Center
- Transfer between Cost Centers within same Fund (Contact Budget Director)
- Transfer In/Out of Contingency within same Fund (Contact Budget Director)
- Receipt of unanticipated funds (Submit information for Resolution below)
- Transfer between Funds (Contact Budget Director)
- Transfer within CIP Fund (Contact Budget Director)
- Carryforward of Grant Funds (For use by Budget Office Only - Requires Resolution)

Budget Transfer
 # _____

AMOUNTS to TRANSFER

ACCOUNT NUMBER			ACCOUNT DESCRIPTION	AMOUNTS to TRANSFER	
Fund	Division	Account (Object Code)		INCREASE	DECREASE
REVENUE					
305	305	312600	Discr Sales Surtaxes		(12,821,757.00)
305	305	381120	Transfer 2020 Bond Revenue Fund	9,619,052.00	
305	305	399001	5% Of Budgeted Revenues		(16,807.00)
			Total Revenue Adjustment		(3,219,512.00)
APPROPRIATIONS					
305	6031	563000	Infrastructure		(4,500,000.00)
305	6040	563000	Infrastructure	1,000,000.00	
305	6076	563000	Infrastructure		(778,760.00)
305	6076A	563000	Infrastructure	2,843,760.00	
305	6080	563000	Infrastructure	157,000.00	
305	6092	563000	Infrastructure		(1,616,000.00)
305	6095	563000	Infrastructure	451,942.00	
305	6097	563000	Infrastructure		(1,823,042.00)
305	6098	563000	Infrastructure	403,520.00	
305	6100	563000	Infrastructure		(2,065,000.00)
305	7085	563000	Infrastructure		(384,938.00)
305	7086	563000	Infrastructure		(737,300.00)
305	7088	563000	Infrastructure		(60,600.00)
305	7089	563000	Infrastructure		(42,420.00)
305	6049	562000	Buildings		(150,000.00)
305	6106	562000	Buildings	150,000.00	
305	9912	599100	Reserve - Contingency	2,434,038.00	
305	9912	599200	Reserve - Cash Balance		(889,432.00)
305	9912	599800	Reserve For Capital Improvements	2,387,720.00	
			Total Appropriation Increase/Decrease	9,827,980.00	(13,047,492.00)
			Total Appropriation Adjustment		(3,219,512.00)

JUSTIFICATION:

This budget amendment is needed to true up CIP funding after the issuance of the 2020 Series Revenue Bond for road construction projects.

REQUESTED BY: _____

DATE REQUESTED: _____

ADMINISTRATIVE USE ONLY

BUDGET OFFICE APPROVAL

COUNTY MANAGER APPROVAL

BY: _____

BY: _____

DATE: _____

DATE: _____



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State Road 21 from CR-218 to Black Creek Improvements

- About this Project
- Traffic Alerts
- Photos
- Documents
- Public Events

Overview

The Florida Department of Transportation began a widening and resurfacing project on State Road 21 (Blanding Boulevard) from County Road 218 to Black Creek in February 2020.

Once completed, this project will add two lanes of capacity to the four-lane section of Blanding Boulevard between County Road 218 and Black Creek and provide more efficient east-west movements at the intersection of Blanding Boulevard and County Road 218. The County Road 218 bridge over Black Creek will be replaced to provide a wider bridge in order to accommodate the improvements within the project corridor. The County Road 218 bridge will remain to traffic open during construction.

\$acyr Construction was selected to complete the \$16.4 million project. Construction is estimated to begin this month and be completed in fall 2021, weather and unforeseen circumstances permitting.

Project Details

Project Start:	February 2020
Expected Completion:	Winter 2021
Cost:	\$16.4 million
Project #:	208211-5-52-01
Roads	County Road 218, State Road 21
Counties	Clay
Cities	Middleburg

Contact



Samantha Rambeau (mailto:Samantha.Rambeau@atkinsglobal.com)
386-269-3602



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Blanding Boulevard (SR 21) Widening and Reconstruction From Allie Murray Road to Long Bay Road (CR 220A)

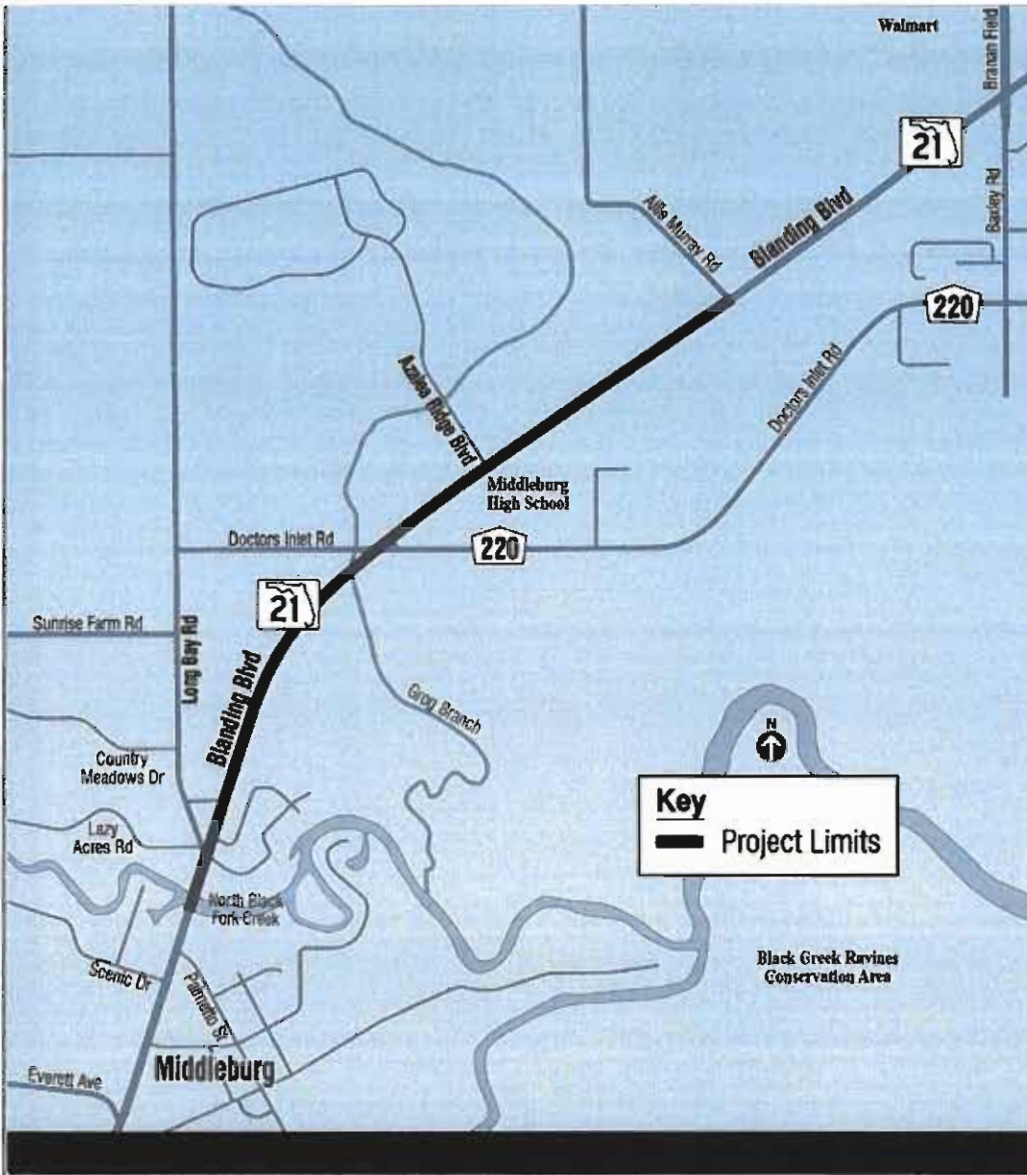
- [About this Project](#)
- [Traffic Alerts](#)
- [Photos](#)
- [Documents](#)
- [Public Events](#)

Overview

Construction on this segment of State Road 21/Blanding Boulevard in Clay County from Allie Murray Road to Long Bay Road (CR 220A) involves full reconstruction and widening to six lanes of the roadway in this area. Construction on this \$18 million project also includes adding four-foot bike lanes and six-foot sidewalk in both directions, replacing traffic signals, adding street lights, and constructing a new drainage system including new pipes, inlets and small ponds. Medians are being narrowed to allow for the roadway widening and curb construction and some intersection realignment work will be done to better facilitate traffic signals and new travel lane alignment. The project contractor is R.B. Baker Construction Company.

This project is a continuation of other recently-completed Blanding Widening projects that increased to six lanes the segment of Blanding Boulevard/State Road 21 from Old Jennings Road to Branam Field Road and from there south to Allie Murray Road. Motorists should anticipate similar, occasional lane closures necessary during construction once it begins. Standard overnight lane closure times may be adjusted as-needed based on work schedules, weather and traffic flow levels.

A construction open house for this project was held December 10 at the Middleburg Civic Center to answer questions and discuss project details.



Project Details

Project Start: Early 2019
Expected Completion: Fall 2021
Cost: \$19.1 million
Project #: 208211-8
Roads: County Road 220A, State Road 21
Counties: Clay
Cities: Middleburg

Contact



Sara Pleasants (mailto:Sara.pleasants@dot.state.fl.us)
 386-269-3490



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State Road 21 (South Lawrence Blvd.) Improvements

- About this Project
- Photos
- Documents
- Public Events

Overview

This is a resurfacing improvement project. It is scheduled to start in June 2020 and Anderson Columbia is the contractor. The location is State Road 21 from the Putnam C/L to Commercial Circle in Keystone Heights. Cost is \$6.9 million. Completion summer 2021.

The FDOT is proposing to mill and resurface SR 21 from the Putnam county line to north of Commercial Circle in Keystone Heights. Portions of this project are in Bradford, Clay and Putnam Counties. In addition to the milling and resurfacing, the Department will be improving the safety of the roadway by widening the paved shoulders, improving the lighting within the Town of Keystone Heights, and adding mid-block crossings and bulb-outs as part of the Town's Streetscape project. Additionally, signal and pedestrian improvements at the intersection with SR-100 are also being proposed.

Project Details

Project Start: June 2020

Expected Completion: Summer 2021

Cost: \$6.9 million

Project #: 439399-1

Roads: State Road 21

Counties: Bradford, Clay, Putnam

Cities: Keystone Heights

Contact

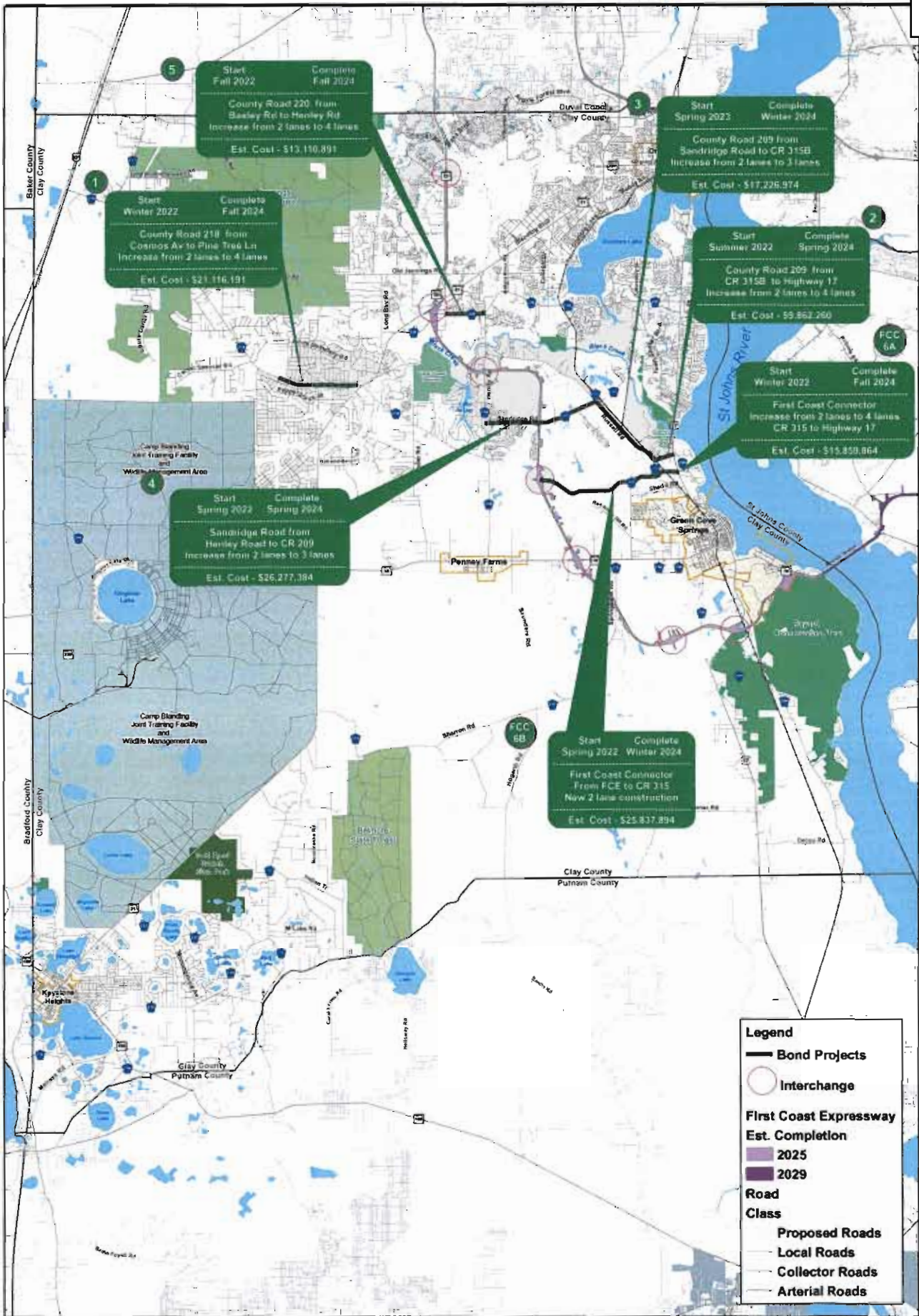


Troy Roberts (mailto:Troy.Roberts@dot.state.fl.us)
386-961-7830

State Road 21 (South Lawrence Blvd.) Improvements

Commissioner/District	Project Description	Project Limits	Length	# Lanes	Typical Section / Description	City Liability	Construction Start Date	Construction End Date
						Budget		
Betsy Condon / D4	No. 1 Middleburg CR 218	Cosmos Ave to Pine Tree Lane	2.7	4.0	Widen (2) lane urban section roadway to (4) lanes with median/turn lanes, bike lanes, curb and gutter, and sidewalks.	\$ 21,116,180.61	Fall 2022	Summer 2024
Mike Cella / D1	No. 2 Lake Asbury CR 209 (Russell Rd)	CR 3189 to US 17	0.8	4.0	Reconstruct (2) lane urban roadway section to (4) lanes with median/turn lanes, bike lanes, curb and gutter, and sidewalks.	\$ 9,862,260.35	Summer 2022	Spring 2024
Kristen Burke / D5	No. 3 Lake Asbury CR 209 (Russell Rd)	Sandridge Rd to CR 315B	2.6	3.0	Reconstruct (2) lane urban roadway section to (3) lanes with turn lanes, bike lanes, curb and gutter, and sidewalks.	\$ 17,226,973.97	Summer 2023	Winter 2024
Kristen Burke / D5	No. 4 Lake Asbury (Sandridge Rd)	Henley Rd to CR 208 (Russell Rd)	3.75	3.0	Reconstruct (2) lane urban roadway to (3) lanes with turn lanes, bike lanes, curb and gutter, and sidewalks.	\$ 29,277,383.91	Summer 2022	Summer 2024
Kristen Burke / D5	No. 5 Middleburg CR 220	Baxley Rd to Henley Rd	1.8	4.0	Reconstruct (2) lane urban roadway to (4) lanes with median/turn lanes, bike lanes, curb and gutter, and sidewalks.	\$ 13,110,891.05	Spring 2023	Fall 2024
Mike Cella / D1	No. 6A Green Cove Springs / Lake Asbury (First Coast Connector)	US 17 to CR 315	1.6	4.0	Reconstruct (2) lane urban roadway to (4) lanes with median/turn lanes, bike lanes, curb and gutter, and sidewalks.	\$ 15,859,863.61	Winter 2022	Summer 2024
Kristen Burke / D5	No. 6B Green Cove Springs (First Coast Connector)	SR 23 to CR 315	2.9	2.0	New (2) lane roadway with grass median, bike lanes and sidewalks.	\$ 25,837,893.88	Spring 2022	Spring 2024
			16.0		TOTAL BUDGET	\$ 129,291,457.38		
					GRAND TOTAL	\$ 129,291,457.38		

Item # 5.



5 Start Fall 2022 Complete Fall 2024
 County Road 220 from Bailey Rd to Henley Rd
 Increase from 2 lanes to 4 lanes
 Est. Cost - \$13,110,891

1 Start Winter 2022 Complete Fall 2024
 County Road 218 from Cosmos Av to Pine Tree Ln
 Increase from 2 lanes to 4 lanes
 Est. Cost - \$21,116,191

3 Start Spring 2023 Complete Winter 2024
 County Road 209 from Sandridge Road to CR 315B
 Increase from 2 lanes to 3 lanes
 Est. Cost - \$17,236,974

2 Start Summer 2022 Complete Spring 2024
 County Road 209 from CR 315B to Highway 17
 Increase from 2 lanes to 4 lanes
 Est. Cost - \$9,862,260

FCC 6A Start Winter 2022 Complete Fall 2024
 First Coast Connector
 Increase from 2 lanes to 4 lanes
 CR 315 to Highway 17
 Est. Cost - \$15,859,864

4 Start Spring 2022 Complete Spring 2024
 Sandridge Road from Henley Road to CR 209
 Increase from 2 lanes to 3 lanes
 Est. Cost - \$26,277,384

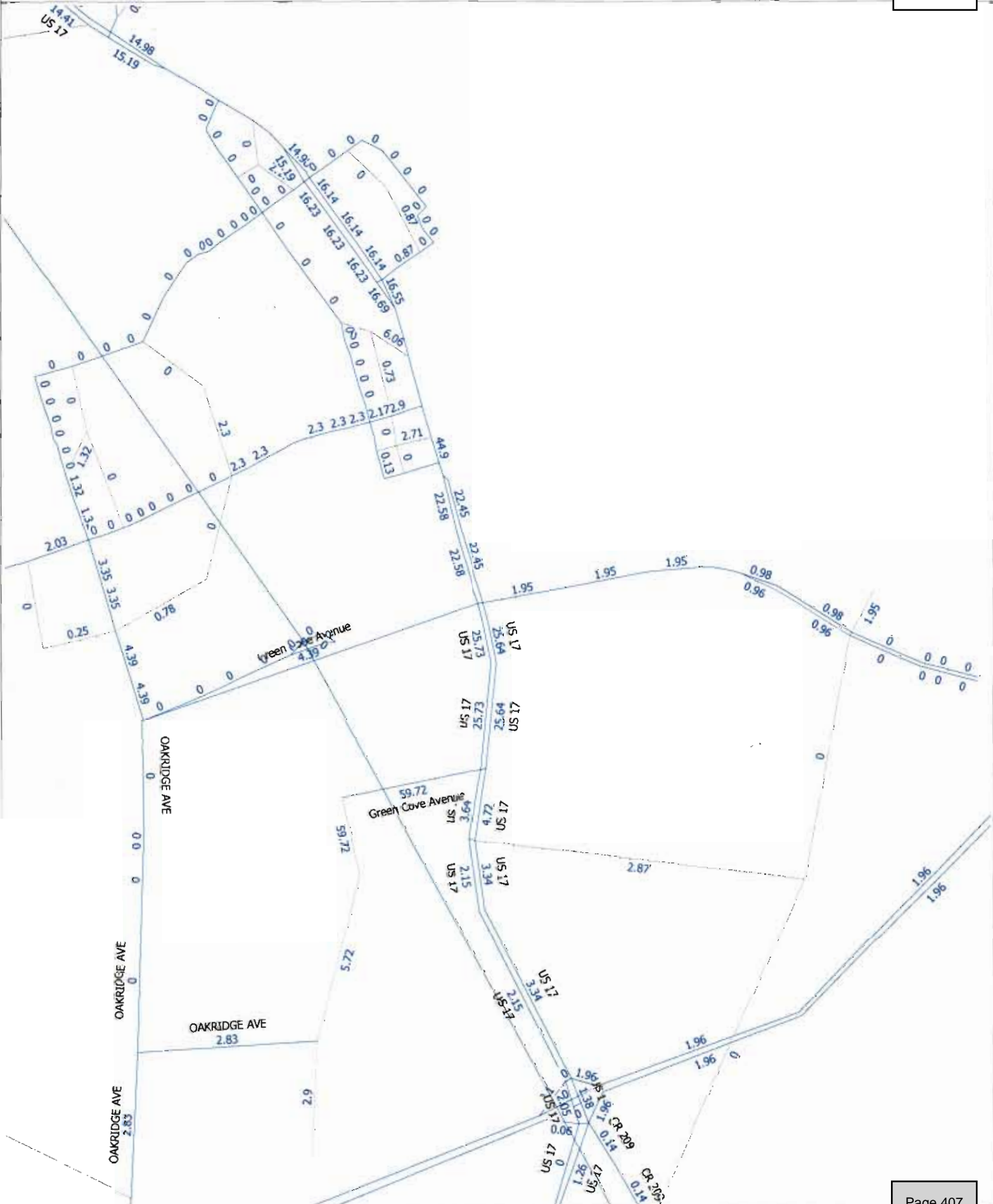
FCC 6B Start Spring 2022 Complete Winter 2024
 First Coast Connector
 From FCE to CR 315
 New 2 lane construction
 Est. Cost - \$25,837,894

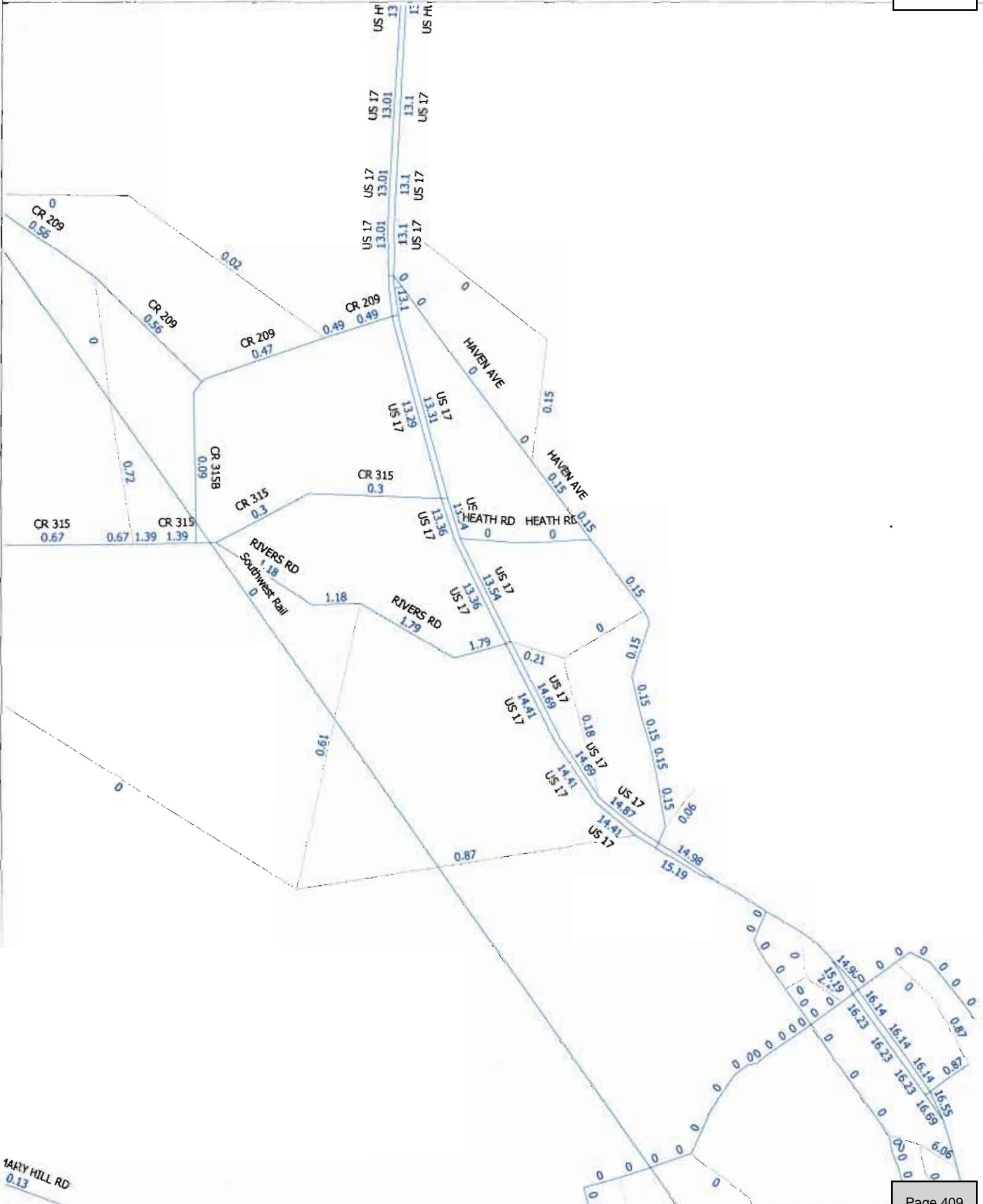
Bonded County Road Projects



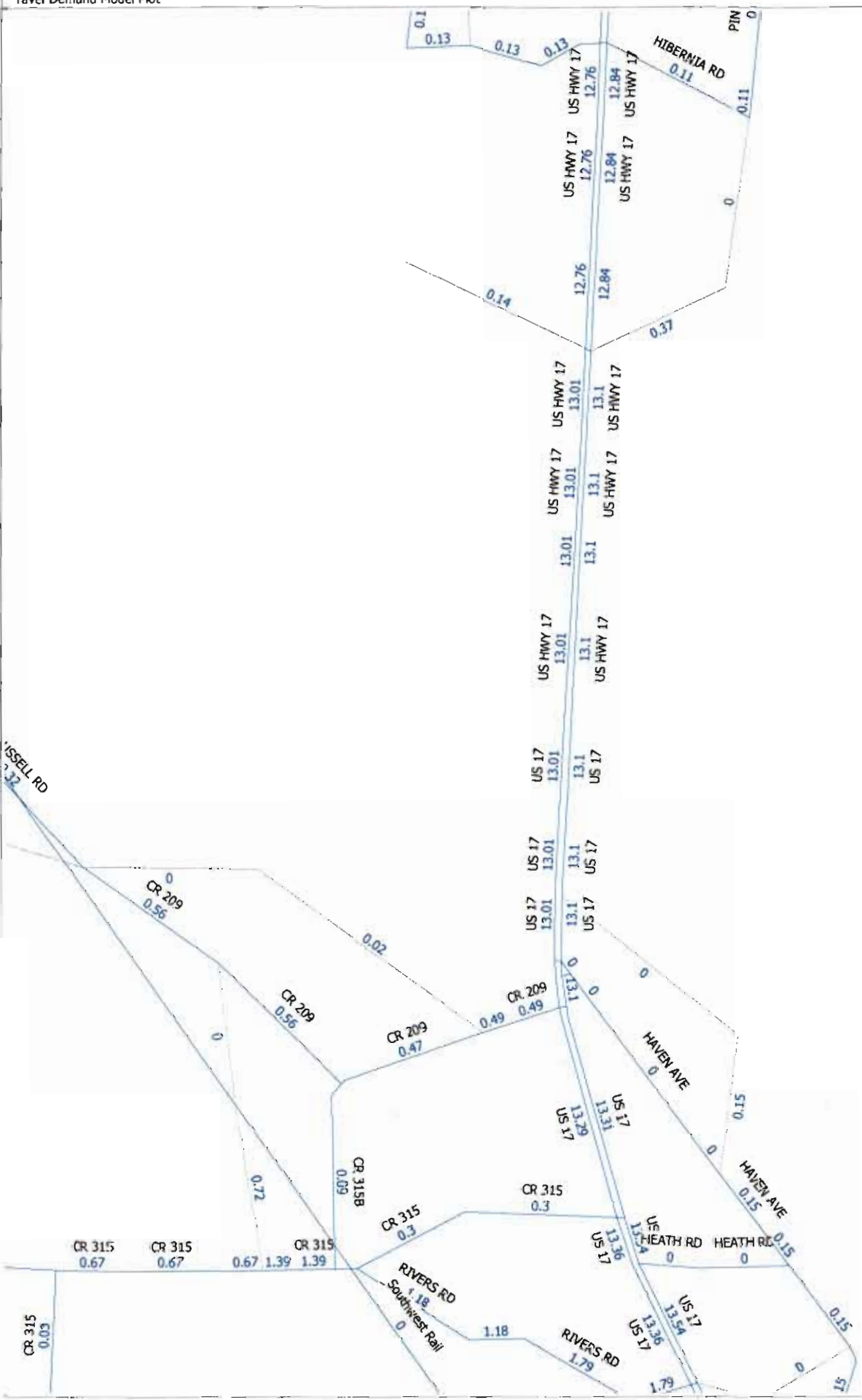
Attachment E

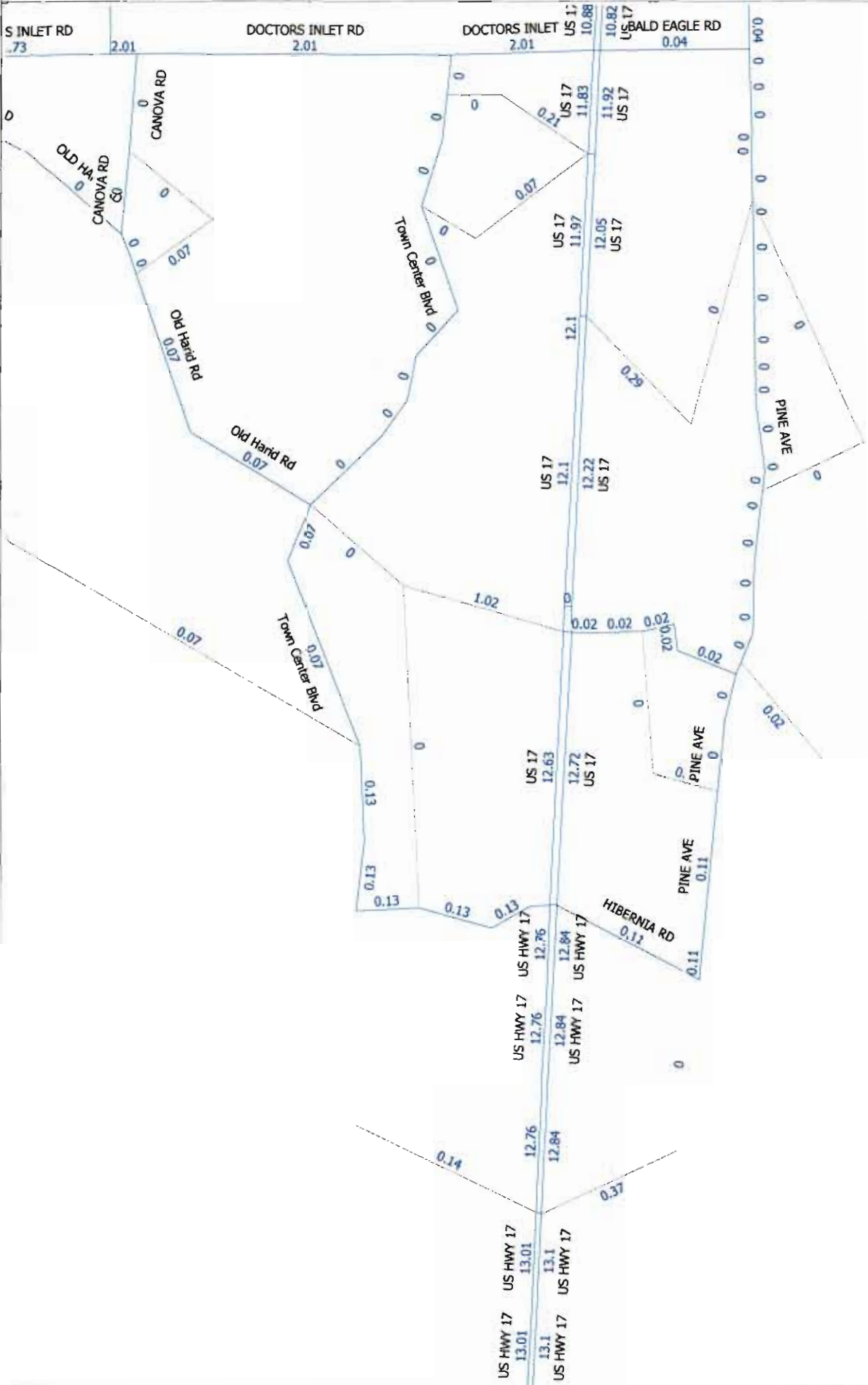
Travel Demand Model Plots

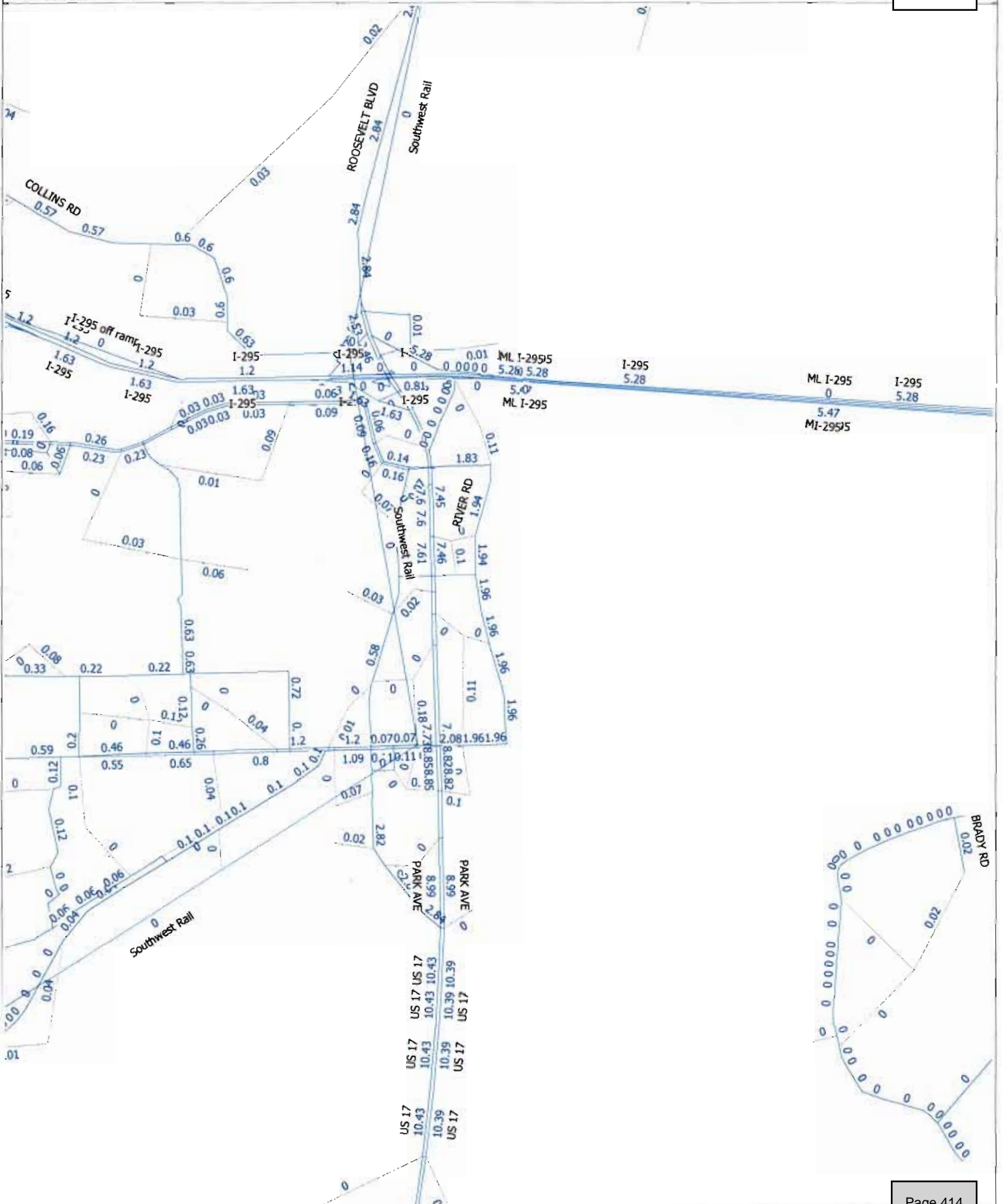


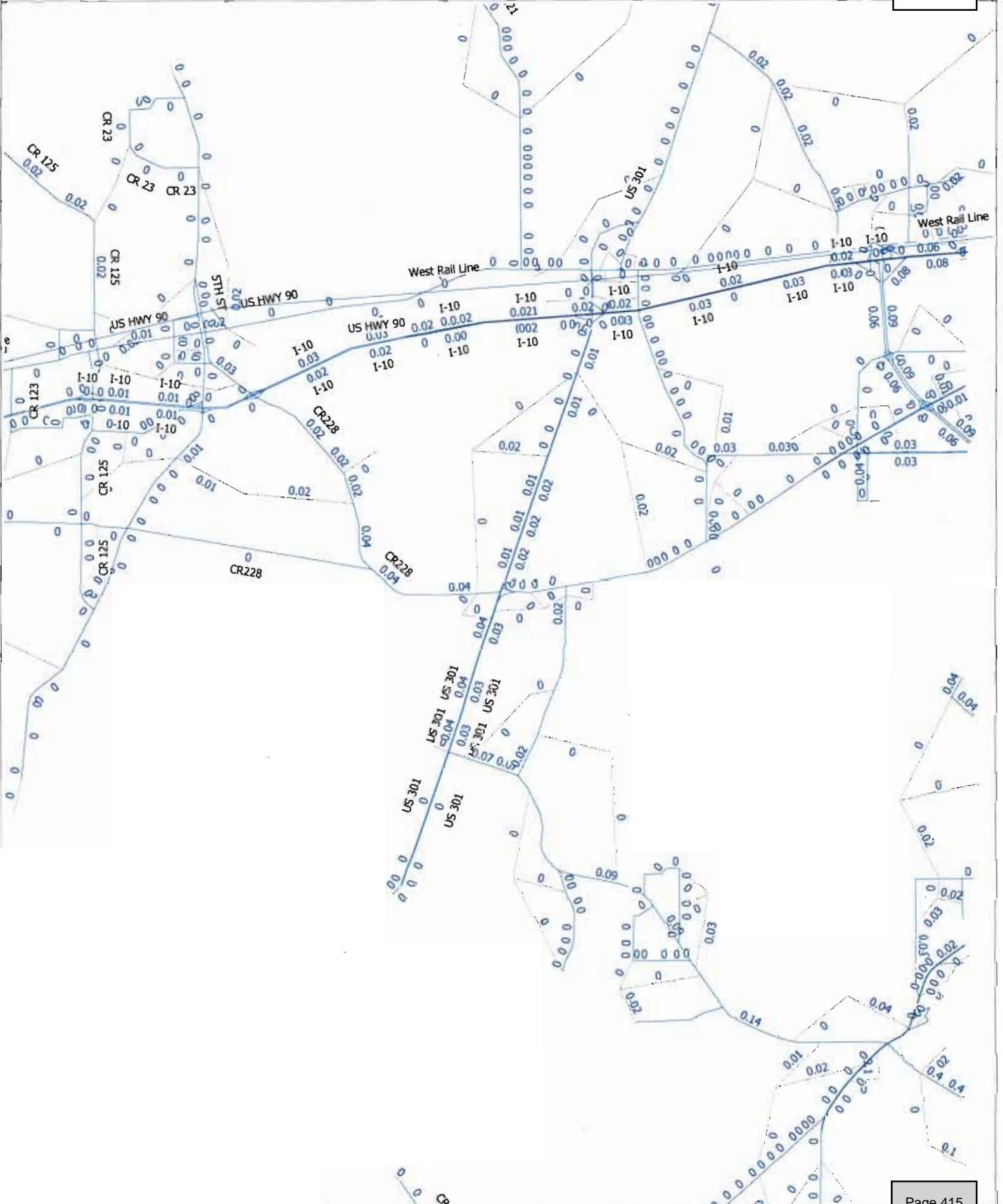


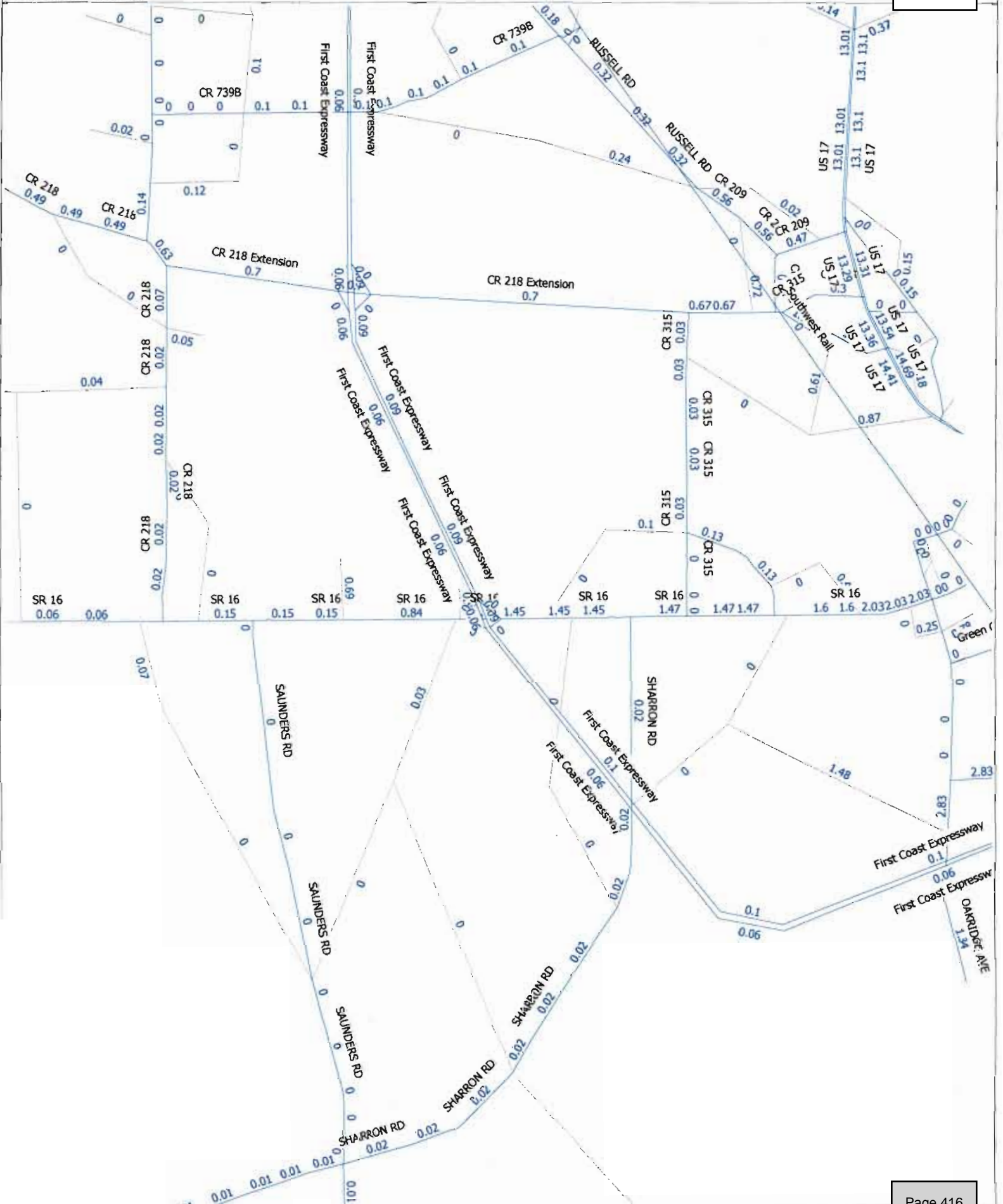
MARY HILL RD
0.13

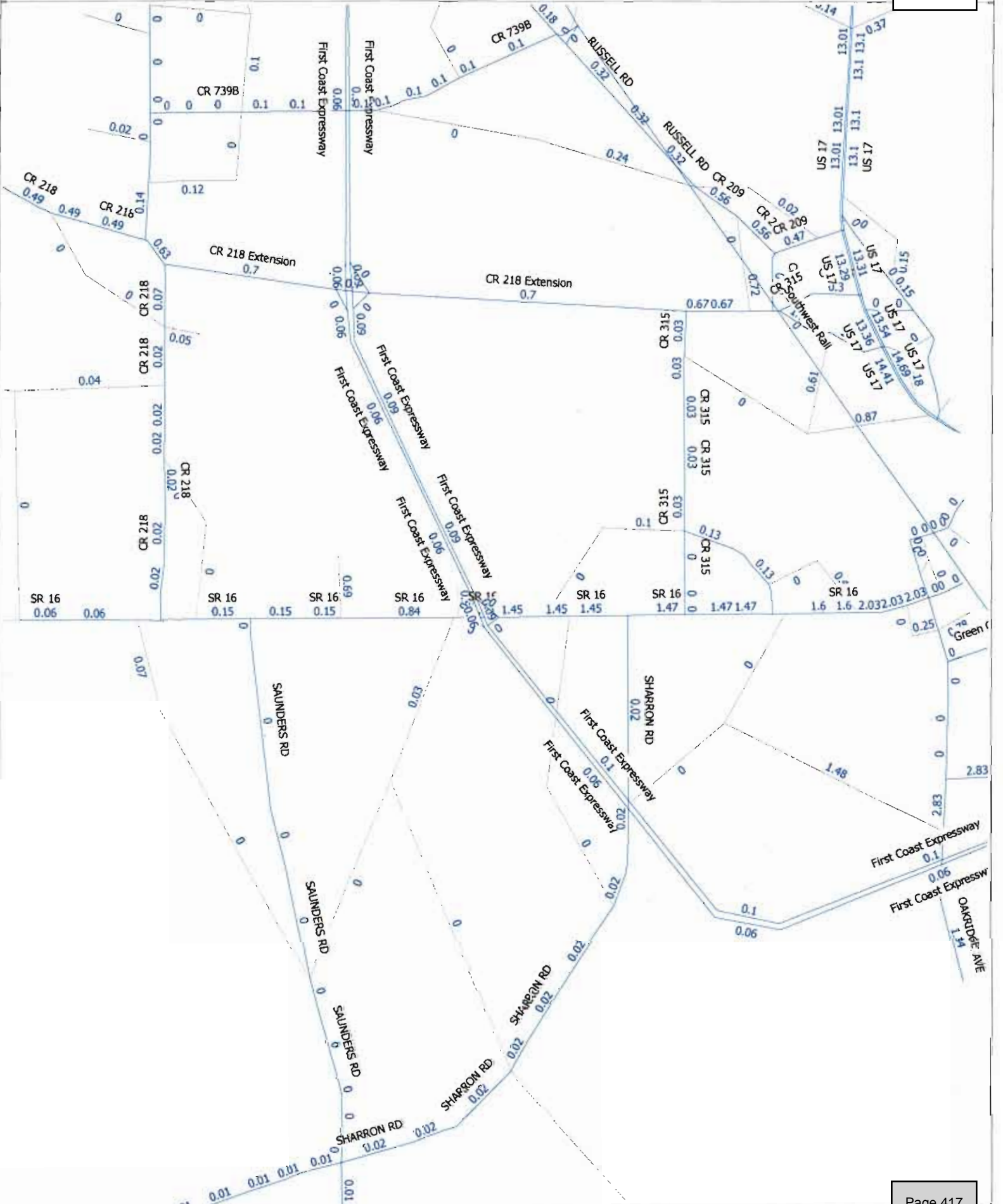


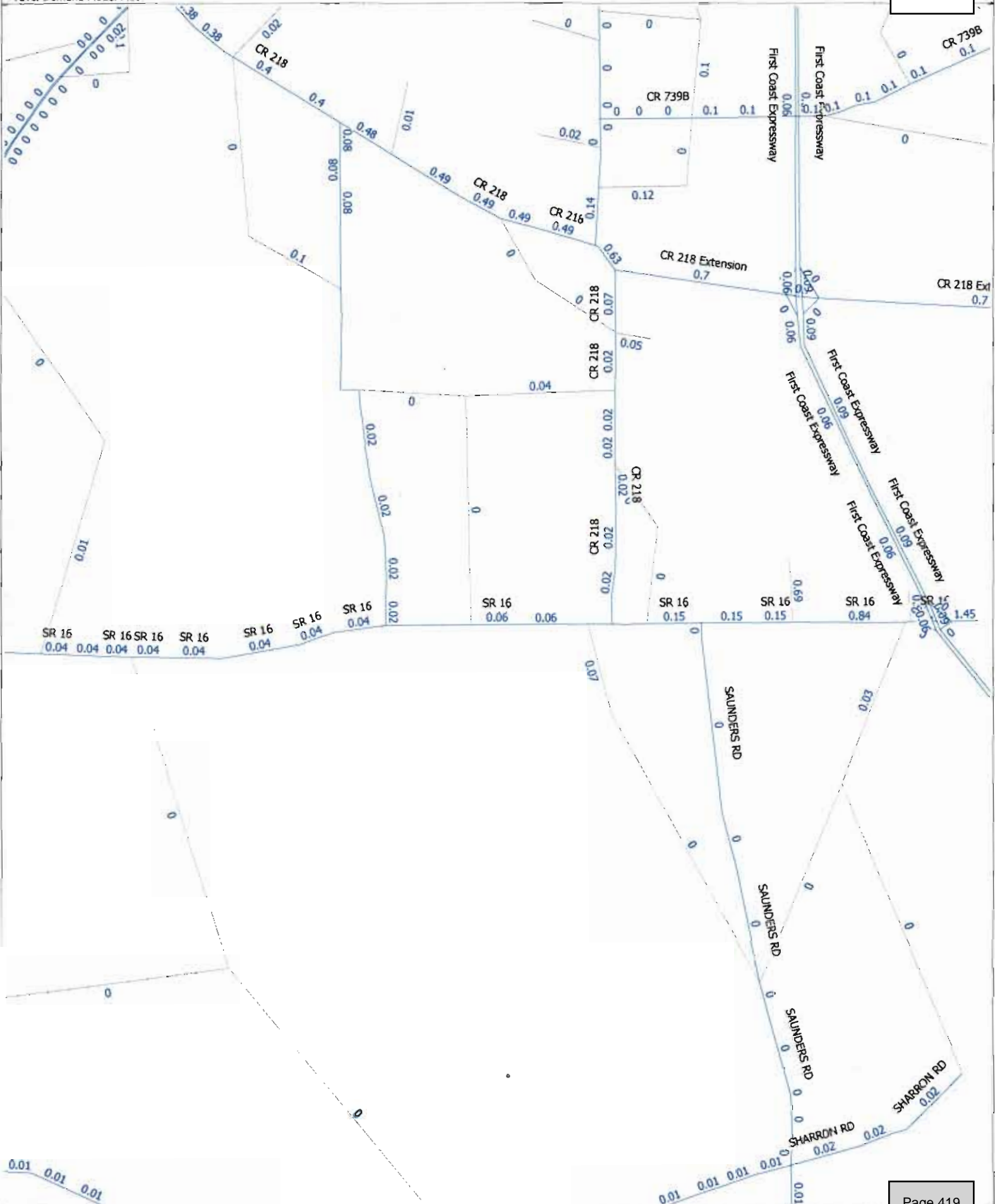


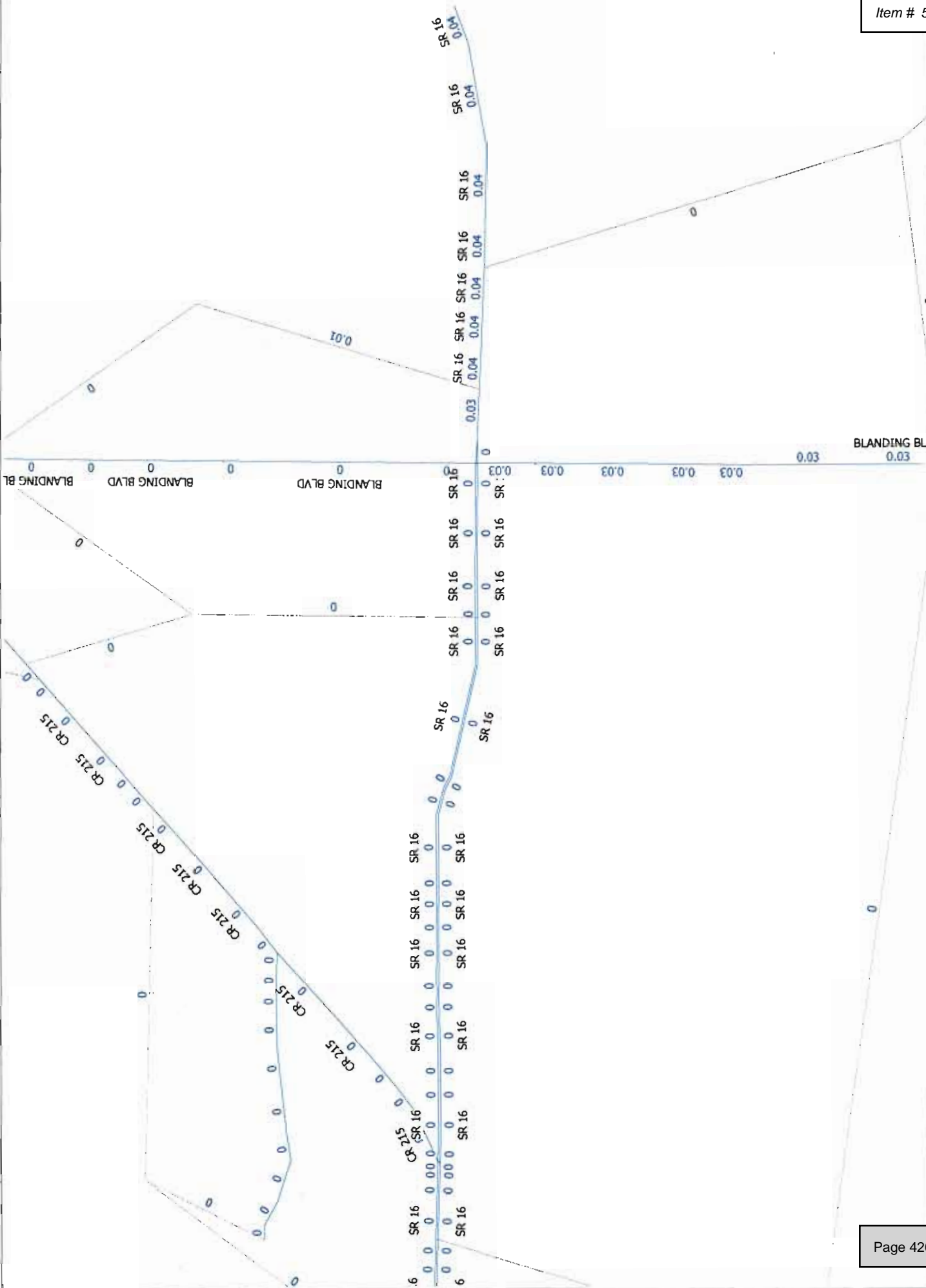


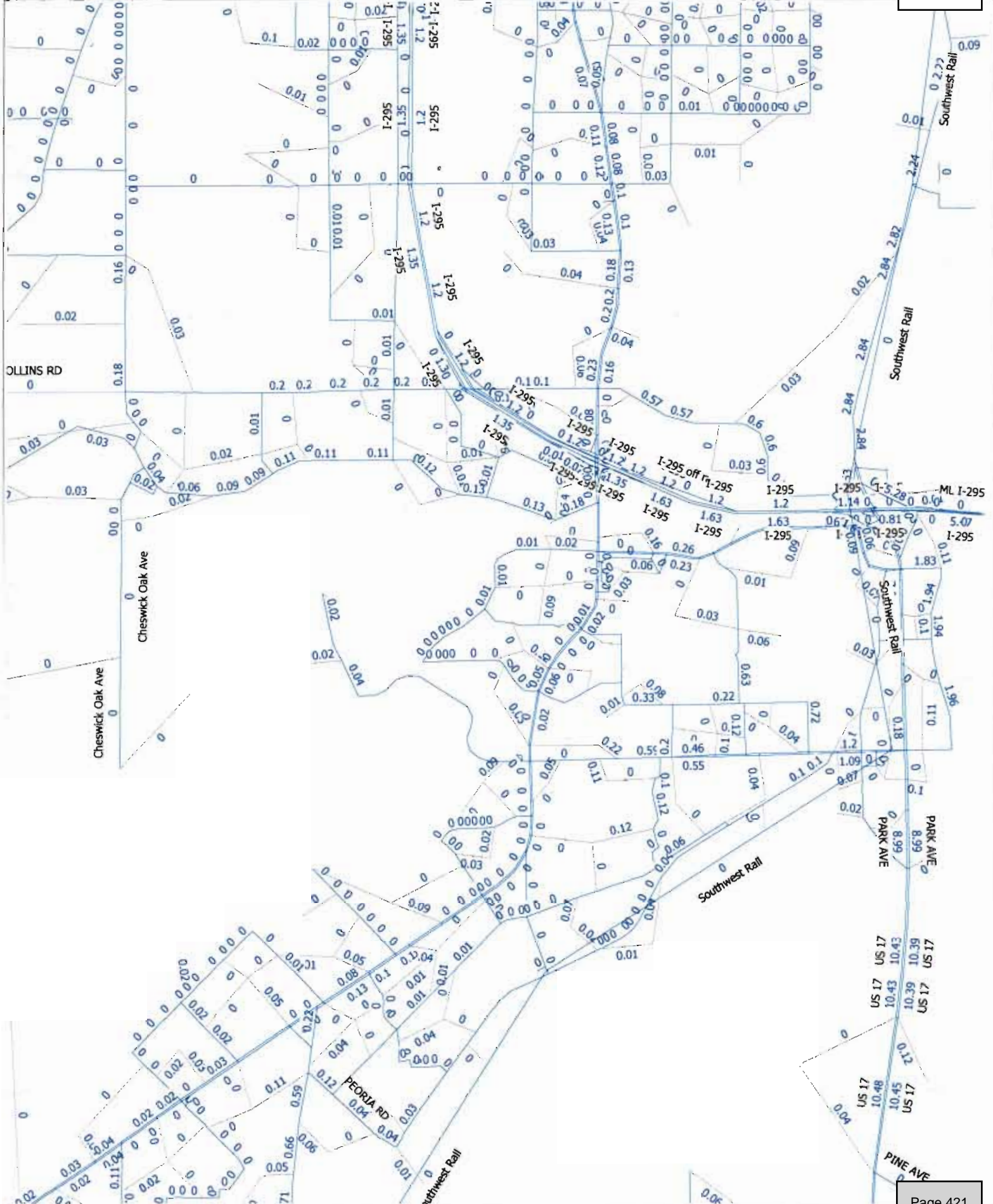


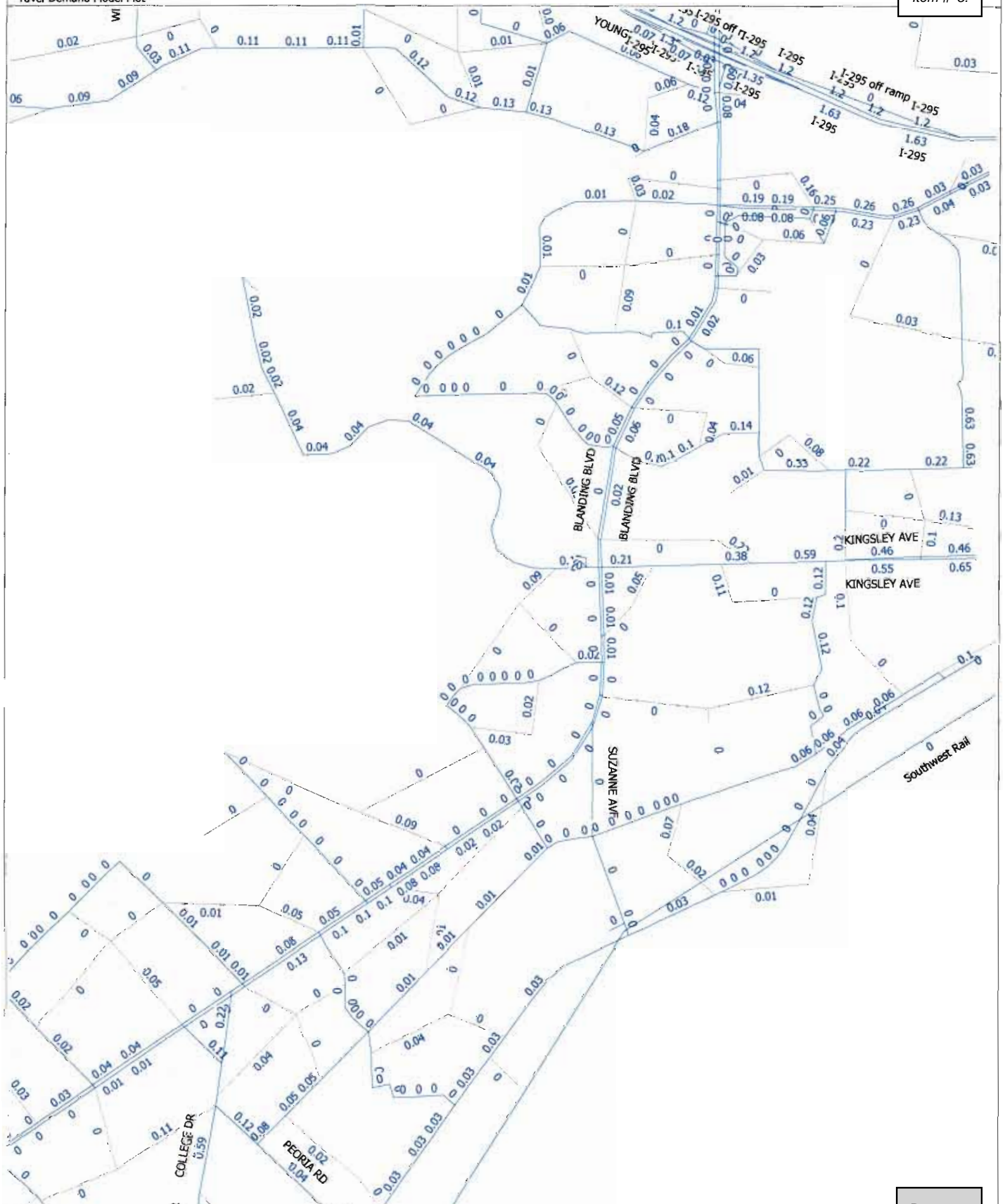


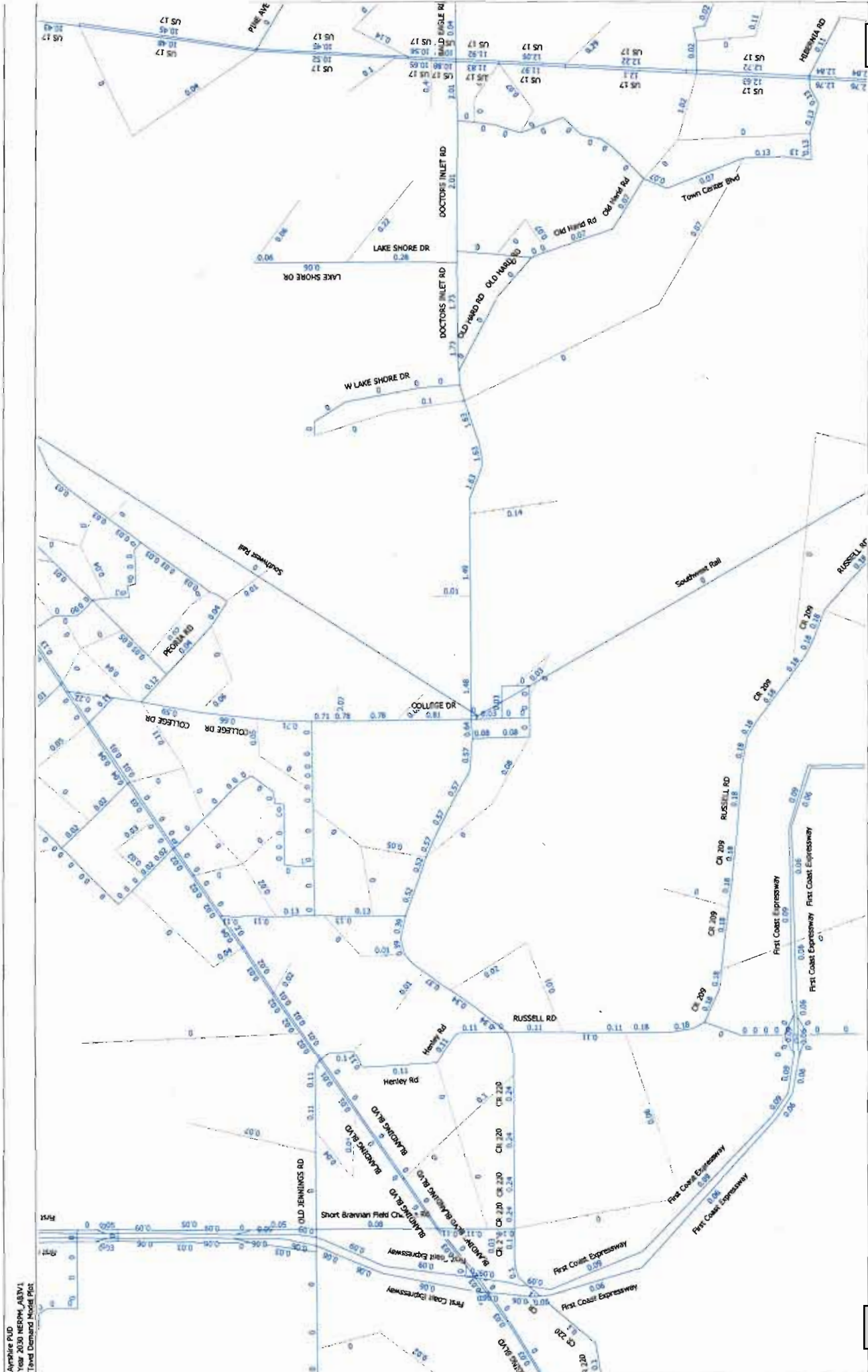












Appendix PUD
Year 2030 NERPM ABEV1
Travel Demand Model Plot

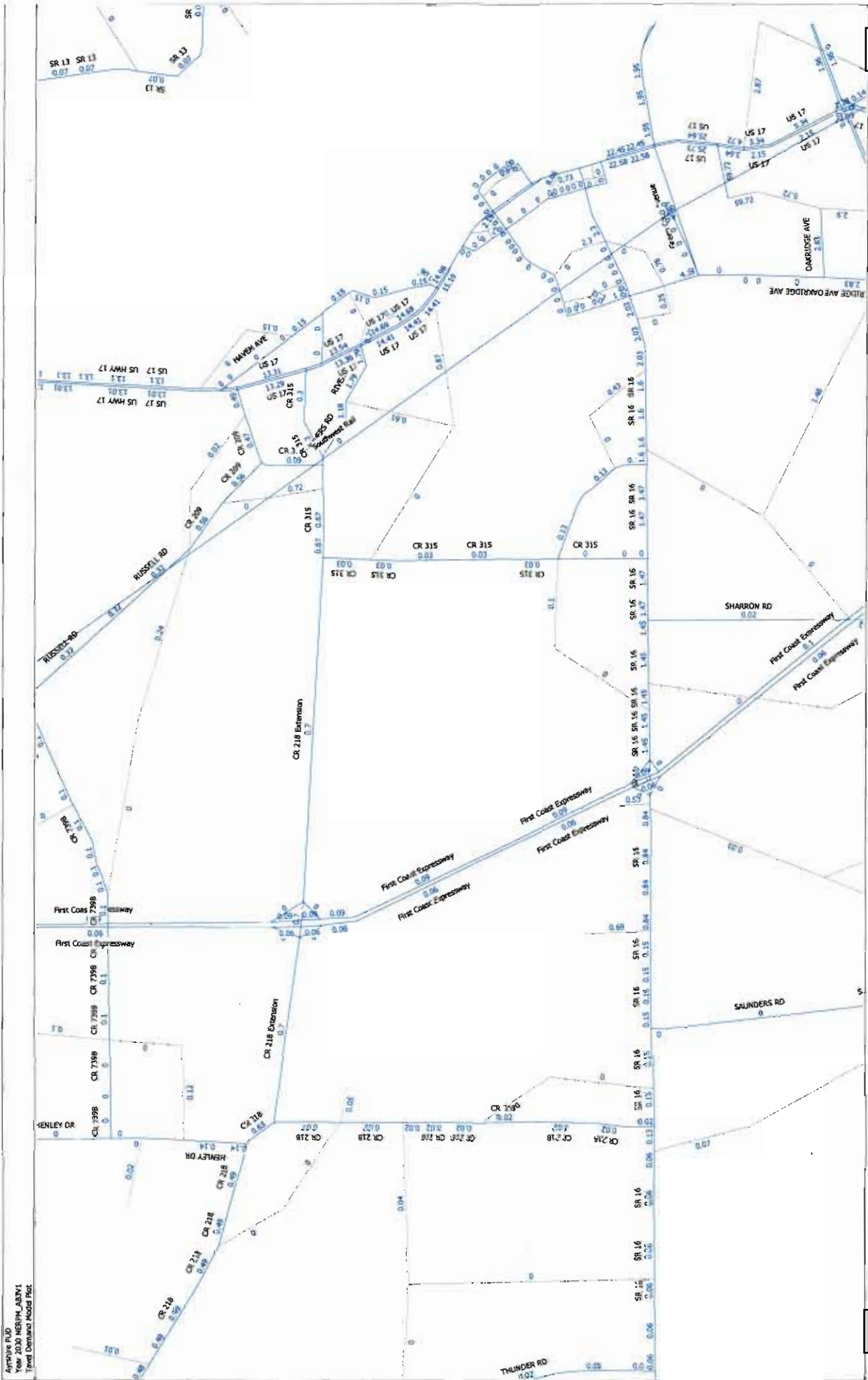
(Licensed to Chindalur Traffic Solu...



(Licensed to Chindalur Traffic Solu...

Avenue Blvd
Year 2030 WSPM, ABSV1
Third Demand Model Proj

(Licensed to Chindahir Traffic Solutions)

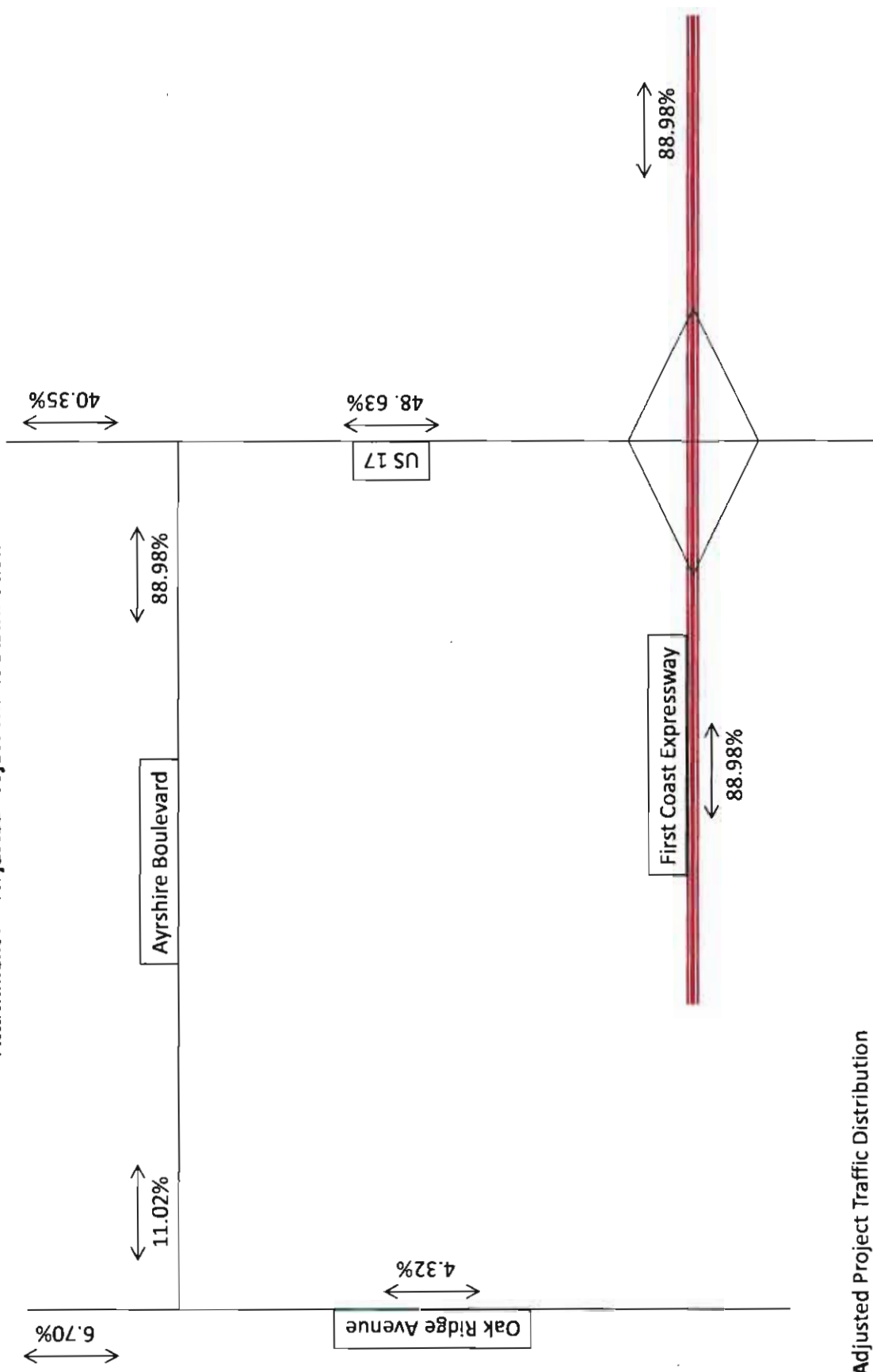




Attachment F

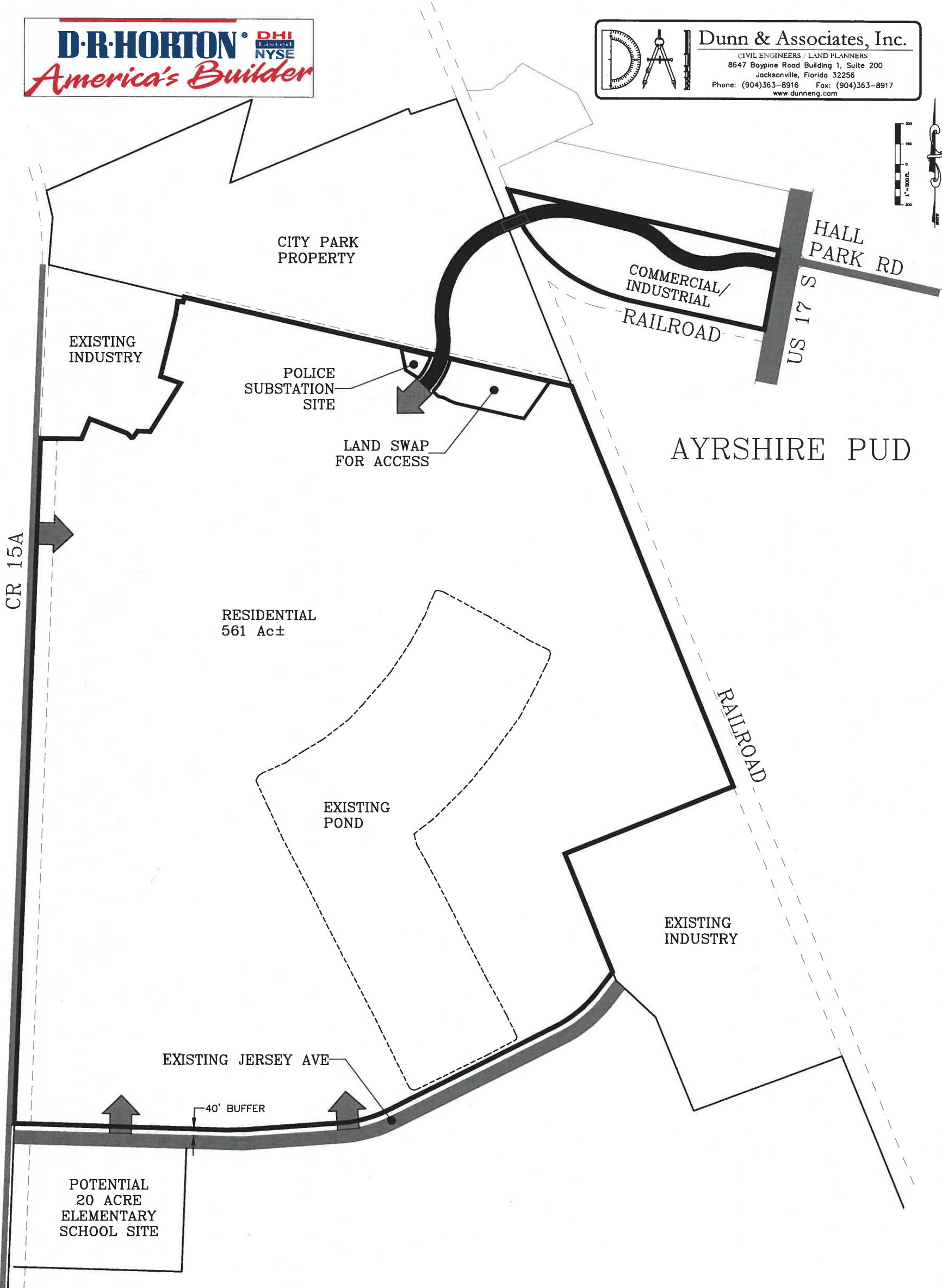
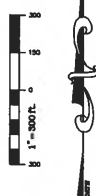
Adjusted Project Traffic Distribution

Attachment F – Adjusted Project Traffic Distribution



11.02% Adjusted Project Traffic Distribution

Adjusted Distribution Based on FDOT's Year 2030 Traffic Projections on US 17 at First Coast Expressway Interchange





STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning & Zoning Commission **MEETING DATE:** April 27, 2021
FROM: Michael Daniels, AICP, Planning & Zoning Director
SUBJECT: Online Comprehensive Map Update

BACKGROUND

The City of Green Cove Springs was awarded a Community Planning Technical Assistance Grant by Florida's Department of Economic Opportunity (DEO) for the creation and deployment of an online comprehensive mapping system. After completing the bid process, the City contracted with Geographic Technologies Group (GTG) to bring the project to fruition. In accordance with the grant requirements, the project will be finalized in approximately June (2021), however, it is moving rapidly forward.

The scope of the Green Cove Springs GeoHub currently includes:

1. Web Applications – [Example Link](#)
 - a. An all-inclusive application (utilizing all available layers so applicants / citizens may see as much or as little data as they want at once)
 - b. Future Land Use, Zoning, and Existing Land Use application
 - c. Capital Improvement Projects Application
 - d. Utility Services Information Application
 - e. Transportation Network and Real-Time Traffic Data Application
 - f. Emergency Services and Real-time Weather Application
 - g. Storm Damage Assessment (FEMA Reporting) Application
 - h. Parks, Recreation, Natural Resource, and Environmental Application
 - i. Building Permit / Code Enforcement Case Application(s)
 - j. Curbside Service Application
 - k. Hurricane Tracking Application
2. Story Map – [Example Link](#), [Example Link 2](#)
 - a. History of Green Cove Springs (or similar)
3. Dashboards – [Example Link](#)
 - a. Capital Improvement Projects (or other)
4. Open Data – [Example Link](#)
 - a. Searchable, downloadable versions of data available in public-facing web applications
5. Map Gallery
 - a. PDF copies of maps

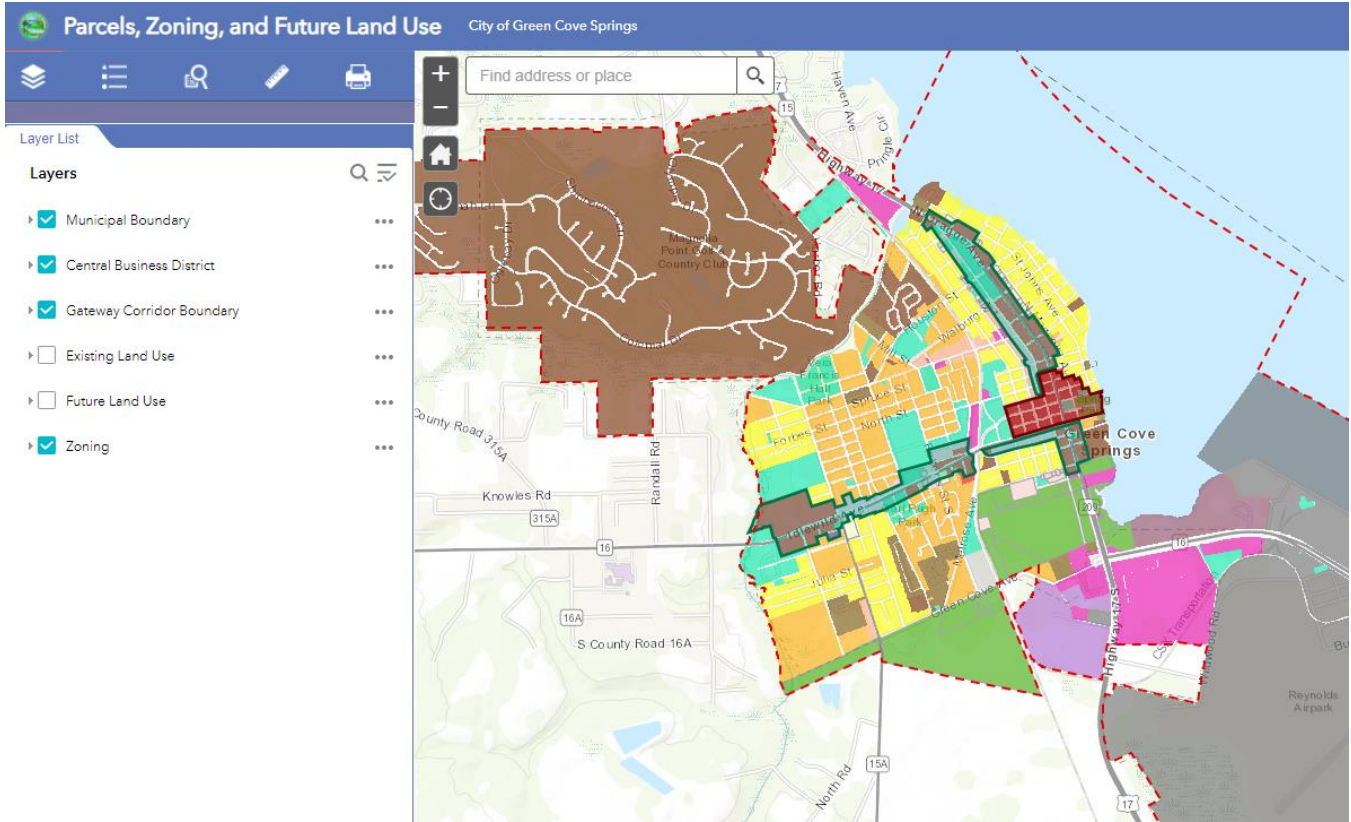
City Staff are working closely with GTG to provide required data and provide feedback on their project samples as they are built.

The GeoHub currently resembles the following screenshot.



Staff are extremely excited to provide comprehensive, accessible data to the public and ease the spread of information between departments, especially during emergency situations, such as hurricanes.

A sneak peak at the Zoning & Land Use Map Application



Staff will bring the hub up on screen at the meeting to show currently available features and get your feedback on them.

FISCAL IMPACT

N/A

RECOMMENDATION

N/A – Informational item only.



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning & Zoning Commission **MEETING DATE:** April 27, 2021
FROM: Michael Daniels, AICP, Planning & Zoning Director
SUBJECT: S&ME – Comprehensive Plan Update

BACKGROUND

S&ME will make a presentation during the meeting.

FISCAL IMPACT

N/A

RECOMMENDATION

N/A – Informational item only.